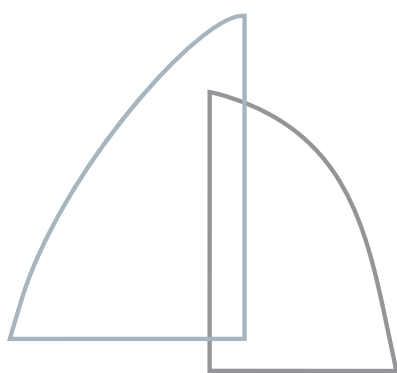


} { BONAIRE  
倚南

Sales Brochure  
售樓說明書





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倚 南

INDEX  
目錄

	NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES 一手住宅物業買家須知	P. 01
1	INFORMATION ON THE DEVELOPMENT, H • BONAIRE 發展項目，倚南的資料	P. 06
2	INFORMATION ON VENDOR AND OTHERS INVOLVED IN THE DEVELOPMENT 賣方及有參與發展項目的其他人的資料	P. 06
3	RELATIONSHIP BETWEEN PARTIES INVOLVED IN THE DEVELOPMENT 有參與發展項目的各方的關係	P. 07
4	INFORMATION ON DESIGN OF THE DEVELOPMENT 發展項目的設計的資料	P. 09
5	INFORMATION ON PROPERTY MANAGEMENT 物業管理的資料	P. 10
6	LOCATION PLAN OF THE DEVELOPMENT 發展項目的所在位置圖	P. 11
7	AERIAL PHOTOGRAPH OF THE DEVELOPMENT 發展項目的鳥瞰照片	P. 12
8	OUTLINE ZONING PLAN ETC. RELATING TO THE DEVELOPMENT 關乎發展項目的分區計劃大綱圖等	P. 13
9	LAYOUT PLAN OF THE DEVELOPMENT 發展項目的布局圖	P. 14
10	FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT 發展項目的住宅物業的樓面平面圖	P. 15
11	AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT 發展項目中的住宅物業的面積	P. 23
12	FLOOR PLANS OF PARKING SPACES IN THE DEVELOPMENT 發展項目中的停車位的樓面平面圖	P. 27
13	SUMMARY OF PRELIMINARY AGREEMENT FOR SALE AND PURCHASE 臨時買賣合約的摘要	P. 27
14	SUMMARY OF DEED OF MUTUAL COVENANT 公契的摘要	P. 28
15	SUMMARY OF LAND GRANT 批地文件的摘要	P. 30
16	INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES 公共設施及公眾休憩用地的資料	P. 32
17	WARNING TO PURCHASERS 對買方的警告	P. 33
18	CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT 發展項目中的建築物的橫截面圖	P. 34
19	ELEVATION PLAN 立面圖	P. 35
20	INFORMATION ON COMMON FACILITIES IN THE DEVELOPMENT 發展項目中的公用設施的資料	P. 37
21	INSPECTION OF PLANS AND DEED OF MUTUAL COVENANT 閱覽圖則及公契	P. 37
22	FITTINGS, FINISHES AND APPLIANCES 裝置、裝修物料及設備	P. 38
23	SERVICE AGREEMENTS 服務協議	P. 61
24	GOVERNMENT RENT 地稅	P. 61
25	MISCELLANEOUS PAYMENTS BY PURCHASER 買方的雜項付款	P. 61
26	DEFECT LIABILITY WARRANTY PERIOD 欠妥之處的保養責任期	P. 62
27	MAINTENANCE OF SLOPES 斜坡維修	P. 62
28	MODIFICATION 修訂	P. 62
29	INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING 申請建築物總樓面面積寬免的資料	P. 63
30	RELEVANT INFORMATION 有關資料	P. 65

## NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES

### 一手住宅物業買家須知

You are advised to take the following steps before purchasing first-hand residential properties.

#### FOR ALL FIRST-HAND RESIDENTIAL PROPERTIES

##### 1. Important information

- Make reference to the materials available on the Sales of First-hand Residential Properties Electronic Platform (SRPE) on the first-hand residential property market.
- Study the information on the website designated by the vendor for the development, including the sales brochure, price lists, documents containing the sales arrangements, and the Register of Transactions of a development.
- Sales brochure for a development will be made available to the general public at least 7 days immediately before a date of sale while price list and sales arrangements will be made available at least 3 days immediately before the date of sale.
- Information on transactions can be found on the register of transactions on the website designated by the vendor for the development and the SRPE.

##### 2. Fees, mortgage loan and property price

- Calculate the total expenses of the purchase, such as solicitors' fees, mortgage charges, insurance fees and stamp duties.
- Check with banks to find out if you will be able to obtain the needed mortgage loan, select the appropriate payment method and calculate the amount of the mortgage loan to ensure it is within your repayment ability.
- Check recent transaction prices of comparable properties for comparison.
- Check with the vendor or the estate agent the estimated management fee, the amount of management fee payable in advance (if any), special fund payable (if any), the amount of reimbursement of the deposits for water, electricity and gas (if any), and/or the amount of debris removal fee (if any) you have to pay to the vendor or the manager of the development.

##### 3. Price list, payment terms and other financial incentives

- Vendors may not offer to sell all the residential properties that are covered in a price list. To know which residential properties the vendors may offer to sell, pay attention to the sales arrangements which will be announced by the vendors at least 3 days before the relevant residential properties are offered to be sold.
- Pay attention to the terms of payment as set out in a price list. If there are discounts on the price, gift, or any financial advantage or benefit to be made available in connection with the purchase of the residential properties, such information will also be set out in the price list.

##### 4. Property area and its surroundings

- Pay attention to the area information in the sales brochure and price list, and price per square foot/metre in the price list. According to the Residential Properties (First-hand Sales) Ordinance (Cap. 621) (the Ordinance), vendors can only present the area and price per square foot and per square metre of a residential property using saleable area. Saleable area, in relation to a residential property, means the floor area of the residential property, and includes the floor area of every one of the following to the extent that it forms part of the residential property - (i) a balcony; (ii) a utility platform; and (iii) a verandah. The saleable area excludes the area of the following which forms part of the residential property - air-conditioning plant room; bay window; cockloft; flat roof; garden; parking space; roof; stairhood; terrace and yard.

- Visit the development site and get to know the surroundings of the property (including transportation and community facilities). Check town planning proposals and decisions which may affect the property. Take a look at the location plan, aerial photograph, outline zoning plan and cross-section plan that are provided in the sales brochure.

##### 5. Sales brochure

- Ensure that the sales brochure you have obtained is the latest version. According to the Ordinance, the sales brochure made available to the public should be printed or examined, or examined and revised within the previous 3 months.
- Read through the sales brochure and in particular, check the following information in the sales brochure -
  - Whether there is a section on “relevant information” in the sales brochure, under which information on any matter that is known to the vendor but is not known to the general public, and is likely to materially affect the enjoyment of a residential property will be set out. Please note that information contained in a document that has been registered with the Land Registry will not be regarded as “relevant information”;
  - The cross-section plan showing a cross-section of the building in relation to every street adjacent to the building, and the level of every such street in relation to a known datum and to the level of the lowest residential floor of the building. This will help you visualize the difference in height between the lowest residential floor of a building and the street level, regardless of how that lowest residential floor is named;
  - interior and exterior fittings and finishes and appliances;
  - the basis on which management fees are shared;
  - whether individual owners have obligations or need to share the expenses for managing, operating and maintaining the public open space or public facilities inside or outside the development, and the location of the public open space or public facilities; and
  - whether individual owners have responsibility to maintain slopes.

##### 6. Government land grant and deed of mutual covenant (DMC)

- Read the Government land grant and the DMC (or the draft DMC). Information such as ownership of the rooftop and external walls can be found in the DMC. The vendor will provide copies of the Government land grant and the DMC (or the draft DMC) at the place where the sale is to take place for free inspection by prospective purchasers.
- Check the Government land grant on whether individual owners are liable to pay Government rent.
- Check the DMC on whether animals can be kept in the residential property.

##### 7. Agreement for sale and purchase

- Ensure that the preliminary agreement for sale and purchase (PASP) and agreement for sale and purchase (ASP) include the mandatory provisions as required by the Ordinance.
- Pay attention that fittings, finishes and appliances to be included in the sale and purchase of the property are inserted in the PASP and ASP.
- Pay attention to the area plan annexed to the ASP which shows the total area which the vendor is selling to you. The total area which the vendor is selling to you is normally greater than the saleable area of the property.

- A preliminary deposit of **5%** of the purchase price is payable by you to the owner (i.e. the seller) on entering into a PASP.
- If you do not execute the ASP within **5 working days** (working day means a day that is not a general holiday or a Saturday or a black rainstorm warning day or gale warning day) after entering into the PASP, the PASP is terminated, the preliminary deposit (i.e. 5 % of the purchase price) is forfeited, and the owner (i.e. the seller) does not have any further claim against you for not executing the ASP.
- If you execute the ASP within 5 working days after the signing of the PASP, the owner (i.e. the seller) must execute the ASP within 8 working days after entering into the PASP.
- The deposit should be made payable to the solicitors' firm responsible for stakeholding purchasers' payments for the property.

#### 8. Expression of intent of purchasing a residential property

- Note that vendors (including their authorized representative(s)) should not seek or accept any specific or general expression of intent of purchasing any residential property before the relevant price lists for such properties are made available to the public. You therefore should not make such an offer to the vendors or their authorized representative(s).
- Note that vendors (including their authorized representative(s)) should not seek or accept any specific expression of intent of purchasing a particular residential property before the sale of the property has commenced. You therefore should not make such an offer to the vendors or their authorized representative(s).

#### 9. Appointment of estate agent

- Note that if the vendor has appointed one or more than one estate agents to act in the sale of any specified residential property in the development, the price list for the development must set out the name of all the estate agents so appointed as at the date of printing of the price list.
- You may appoint any estate agent (not necessarily from those estate agency companies appointed by the vendor) to act in the purchase of any specified residential property in the development, and may also not appoint any estate agent to act on your behalf.
- Before you appoint an estate agent to look for a property, you should -
  - find out whether the agent will act on your behalf only. If the agent also acts for the vendor, he / she may not be able to protect your best interests in the event of a conflict of interest;
  - find out whether any commission is payable by you to the estate agent and, if so, its amount and the time of payment; and
  - note that only licensed estate agents or salespersons may accept your appointment. If in doubt, you should request the estate agent or salesperson to produce his / her Estate Agent Card, or check the Licence List on the Estate Agents Authority website: [www.eaa.org.hk](http://www.eaa.org.hk).

#### 10. Appointment of solicitor

- Consider appointing your own solicitor to protect your interests. If the solicitor also acts for the vendor, he / she may not be able to protect your best interests in the event of a conflict of interest.
- Compare the charges of different solicitors.

### FOR FIRST-HAND UNCOMPLETED RESIDENTIAL PROPERTIES

#### 11. Pre-sale Consent

- For uncompleted residential property under the Lands Department's Consent Scheme, seek confirmation from the vendor whether the "Pre-sale Consent" has been issued by the Lands Department for the development.

#### 12. Show flats

- While the vendor is not required to make any show flat available for viewing by prospective purchasers or the general public, if the vendor wishes to make available show flats of a specified residential property, the vendor must first of all make available an unmodified show flat of that residential property and that, having made available such unmodified show flat, the vendor may then make available a modified show flat of that residential property. In this connection, the vendor is allowed to make available more than one modified show flat of that residential property.
- If you visit the show flats, you should always look at the unmodified show flats for comparison with the modified show flats. That said, the Ordinance does not restrict the discretion of the vendor in arranging the sequence of the viewing of unmodified and modified show flats.
- Sales brochure of the development should have been made available to the public when the show flat is made available for viewing. You are advised to get a copy of the sales brochure and make reference to it when viewing the show flats.
- You may take measurements in modified and unmodified show flats, and take photographs or make video recordings of unmodified show flats, subject to reasonable restriction(s) which may be set by the vendor for ensuring safety of the persons viewing the show flat.

### FOR FIRST-HAND UNCOMPLETED RESIDENTIAL PROPERTIES AND COMPLETED RESIDENTIAL PROPERTIES PENDING COMPLIANCE

#### 13. Estimated material date

- Check the estimated material date<sup>1</sup> for the development in the sales brochure.
- Please note that:
  - For development which is subject to the Lands Department Consent Scheme, the vendor shall notify the purchaser in writing that it is in a position validly to assign the property within one month after the issue of the Certificate of Compliance or the Consent to Assign, whichever first happens.
  - For development which is not subject to the Lands Department Consent Scheme, the vendor shall notify the purchaser in writing that it is in a position validly to assign the property within 6 months after the issue of the Occupation Document including Occupation Permit.

### FOR FIRST-HAND COMPLETED RESIDENTIAL PROPERTIES

#### 14. Vendor's information form

- Ensure that you obtain the "vendor's information form(s)" printed within the previous 3 months in relation to the residential property/properties you intend to purchase.

#### 15. Viewing of property

- Ensure that, before you purchase a residential property, you

<sup>1</sup> Generally speaking, "material date" means the date on which the conditions of the land grant are complied with in respect of the development, or the date on which the development is completed in all respects in compliance with the approved building plans or the conditions subject to which the certificate of exemption is issued. For details, please refer to section 2 of the Ordinance.

are arranged to view the residential property that you would like to purchase or, if it is not reasonably practicable to view the property in question, a comparable property in the development, unless you agree in writing that the vendor is not required to arrange such a comparable property for viewing for you. You are advised to think carefully before signing any waiver.

- You may take measurements, take photographs or make video recordings of the property, unless the property is held under a tenancy or reasonable restriction(s) is / are needed to ensure safety of the persons viewing the property.

For complaints and enquiries relating to the sales of first-hand residential properties by the vendors which the Ordinance applies, please contact the Sales of First-hand Residential Properties Authority -

Telephone

: 2817 3313

Email

: enquiry\_srpa@hd.gov.hk

Fax

: 2219 2220

Other useful contacts -

	Telephone	Fax
Consumer Council	2929 2222	2590 6271
Estate Agents Authority	2111 2777	2598 9596
Real Estate Developers Association of Hong Kong	2826 0111	2845 2521

# NOTES TO PURCHASERS OF FIRST-HAND RESIDENTIAL PROPERTIES

## 一手住宅物業買家須知

您在購置一手住宅物業之前，應留意下列事項：

### 適用於所有一手住宅物業

#### 1. 重要資訊

- 瀏覽一手住宅物業銷售資訊網（下稱「銷售資訊網」），參考「銷售資訊網」內有關一手住宅物業的市場資料。
- 閱覽賣方就該發展項目所指定的互聯網網站內的有關資訊，包括售樓說明書、價單、載有銷售安排的文件，及成交紀錄冊。
- 發展項目的售樓說明書，會在緊接該項目的出售日期前最少七日內向公眾發布，而有關價單和銷售安排，亦會在緊接該項目的出售日期前最少三日內公布。
- 在賣方就有關發展項目所指定的互聯網網站，以及「銷售資訊網」內，均載有有關物業成交資料的成交紀錄冊，以供查閱。

#### 2. 費用、按揭貸款和樓價

- 計算置業總開支，包括律師費、按揭費用、保險費，以及印花稅。
- 向銀行查詢可否取得所需的按揭貸款，然後選擇合適的還款方式，並小心計算按揭貸款金額，以確保貸款額沒有超出本身的負擔能力。
- 查閱同類物業最近的成交價格，以作比較。
- 向賣方或地產代理瞭解，您須付予賣方或該發展項目的管理人的預計的管理費、管理費上期金額（如有）、特別基金金額（如有）、補還的水、電力及氣體按金（如有）、以及 / 或清理廢料的費用（如有）。

#### 3. 價單、支付條款，以及其他財務優惠

- 賣方未必會把價單所涵蓋的住宅物業悉數推售，因此應留意有關的銷售安排，以了解賣方會推售的住宅物業為何。賣方會在有關住宅物業推售日期前最少三日公布銷售安排。
- 留意價單所載列的支付條款。倘買家可就購置有關住宅物業而連帶獲得價格折扣、贈品，或任何財務優惠或利益，上述資訊亦會在價單內列明。

#### 4. 物業的面積及四周環境

- 留意載於售樓說明書和價單內的物業面積資料，以及載於價單內的每平方呎 / 每平方米售價。根據《一手住宅物業銷售條例》（第621章）（下稱「條例」），賣方只可以實用面積表達住宅物業的面積和每平方呎及平方米的售價。就住宅物業而言，實用面積指該住宅物業的樓面面積，包括在構成該物業的一部分的範圍內的以下每一項目的樓面面積：(i) 露台；(ii) 工作平台；以及 (iii) 陽台。實用面積並不包括空調機房、窗台、閣樓、平台、花園、停車位、天台、梯屋、前庭或庭院的每一項目的面積，即使這些項目構成該物業的一部分的範圍。
- 親臨發展項目的所在地實地視察，以了解有關物業的四周環境（包括交通和社區設施）；亦應查詢有否任何城市規劃方案和議決，會對有關的物業造成影響；參閱載於售樓說明書內的位置圖、鳥瞰照片、分區計劃大綱圖，以及橫截面圖。

#### 5. 售樓說明書

- 確保所取得的售樓說明書屬最新版本。根據條例，提供予公眾的售樓說明書必須是在之前的三個月之內印製或檢視、或檢視及修改。

- 閱覽售樓說明書，並須特別留意以下資訊 —

- 售樓說明書內有否關於「有關資料」的部分，列出賣方知悉但並非為一般公眾人士所知悉，關於相當可能對享用有關住宅物業造成重大影響的事宜的資料。請注意，已在土地註冊處註冊的文件，其內容不會被視為「有關資料」；
- 橫截面圖會顯示有關建築物相對毗連該建築物的每條街道的橫截面，以及每條上述街道與已知基準面和該建築物最低的一層住宅樓層的水平相對的水平。橫截面圖能以圖解形式，顯示出建築物最低一層住宅樓層和街道水平的高低差距，不論該最低住宅樓層以何種方式命名；
- 室內和外部的裝置、裝修物料和設備；
- 管理費按甚麼基準分擔；
- 小業主有否責任或需要分擔管理、營運或維持有關發展項目以內或以外的公眾休憩用地或公共設施的開支，以及有關公眾休憩用地或公共設施的位置；以及
- 小業主是否須要負責維修斜坡。

#### 6. 政府批地文件和公契

- 閱覽政府批地文件和公契（或公契擬稿）。公契內載有天台和外牆業權等相關資料。賣方會在售樓處提供政府批地文件和公契（或公契擬稿）的複本，供準買家免費閱覽。
- 留意政府批地文件內所訂明小業主是否須要負責支付地租。
- 留意公契內訂明有關物業內可否飼養動物。

#### 7. 買賣合約

- 確保臨時買賣合約和買賣合約包含條例所規定的強制性條文。
- 留意有關物業買賣交易所包括的裝置、裝修物料和設備，須在臨時買賣合約和買賣合約上列明。
- 留意夾附於買賣合約的圖則。該圖則會顯示所有賣方售予您的物業面積，而該面積通常較該物業的實用面積為大。
- 訂立臨時買賣合約時，您須向擁有人（即賣方）支付樓價5%的臨時訂金。
- 如您在訂立臨時買賣合約後**五個工作日**（工作日指並非公眾假日、星期六、黑色暴雨警告日或烈風警告日的日子）之內，沒有簽立買賣合約，該臨時買賣合約即告終止，有關臨時訂金（即樓價的5%）會被沒收，而擁有人（即賣方）不得因您沒有簽立買賣合約而對您提出進一步申索。
- 在訂立臨時買賣合約後的五個工作日之內，倘您簽立買賣合約，則擁有人（即賣方）必須在訂立該臨時買賣合約後的八個工作日之內簽立買賣合約。
- 有關的訂金，應付予負責為所涉物業擔任保證金保存人的律師事務所。

#### 8. 表達購樓意向

- 留意在賣方（包括其獲授權代表）就有關住宅物業向公眾提供價單前，賣方不得尋求或接納任何對有關住宅物業的購樓意向（不論是否屬明確選擇購樓意向）。因此您不應向賣方或其授權代表提出有關意向。

- 留意在有關住宅物業的銷售開始前，賣方（包括其獲授權代表）不得尋求或接納任何對該物業的有明確選擇購樓意向。因此您不應向賣方或其授權代表提出有關意向。

9. 委託地產代理

- 留意倘賣方委任一個或多於一個地產代理，以協助銷售其發展項目內任何指明住宅物業，該發展項目的價單必須列明在價單印刷日期當日所有獲委任為地產代理的姓名 / 名稱。
- 您可委託任何地產代理（不一定是賣方所指定的地產代理），以協助您購置發展項目內任何指明住宅物業；您亦可不委託任何地產代理。
- 委託地產代理以物色物業前，您應該 —
  - 了解該地產代理是否只代表您行事。該地產代理若同時代表賣方行事，倘發生利益衝突，未必能夠保障您的最大利益；
  - 了解您須否支付佣金予該地產代理。若須支付，有關的佣金金額和支付日期為何；以及
  - 留意只有持牌地產代理或營業員才可以接受您的委託。如有疑問，應要求該地產代理或營業員出示其「地產代理證」，或瀏覽地產代理監管局的網頁（網址：[www.caa.org.hk](http://www.caa.org.hk)），查閱牌照目錄。

10. 委聘律師

- 考慮自行委聘律師，以保障您的利益。該律師若同時代表賣方行事，倘發生利益衝突，未必能夠保障您的最大利益。
- 比較不同律師的收費。

適用於一手未落成住宅物業

11. 預售樓花同意書

- 洽購地政總署「預售樓花同意方案」下的未落成住宅物業時，應向賣方確認地政總署是否已就該發展項目批出「預售樓花同意書」。

12. 示範單位

- 賣方不一定須設置示範單位供準買方或公眾參觀，但賣方如為某指明住宅物業設置示範單位，必須首先設置該住宅物業的無改動示範單位，才可設置該住宅物業的經改動示範單位，並可以就該住宅物業設置多於一個經改動示範單位。

- 參觀示範單位時，務必視察無改動示範單位，以便與經改動示範單位作出比較。然而，條例並沒有限制賣方安排參觀無改動示範單位及經改動示範單位的先後次序。
- 賣方設置示範單位供公眾參觀時，應已提供有關發展項目的售樓說明書。因此，緊記先行索取售樓說明書，以便在參觀示範單位時參閱相關資料。
- 您可以在無改動示範單位及經改動示範單位中進行量度，並在無改動示範單位內拍照或拍攝影片，惟在確保示範單位參觀者人身安全的前提下，賣方可能會設定合理的限制。

適用於一手未落成住宅物業及尚待符合條件的已落成住宅物業

13. 預計的關鍵日期

- 查閱售樓說明書中有關發展項目的預計的關鍵日期<sup>1</sup>。
- 請注意：
  - 就地政總署預售樓花同意方案規管的發展項目，賣方須在合格證明書或轉讓同意書發出後的一個月內（以何者較早為準），就賣方有能力有效地轉讓有關物業一事，以書面通知買方。
  - 至於並非地政總署預售樓花同意方案規管的發展項目，賣方須在佔用文件(包括佔用許可證)發出後的六個月內，就賣方有能力有效地轉讓有關物業一事，以書面通知買方。

適用於一手已落成住宅物業

14. 賣方資料表格

- 確保取得最近三個月內印製有關您擬購買的一手已落成住宅物業的「賣方資料表格」。

15. 參觀物業

- 購置住宅物業前，確保已獲安排參觀您打算購置的住宅物業。倘參觀有關物業並非合理地切實可行，則應參觀與有關物業相若的物業，除非您以書面同意賣方無須開放與有關物業相若的物業供您參觀。您應仔細考慮，然後才決定是否簽署豁免上述規定的書面同意。
- 除非有關物業根據租約持有，或為確保物業參觀者的人身安全而須設定合理限制，您可以對該物業進行量度、拍照或拍攝影片。

任何與賣方銷售受條例所規管的一手住宅物業有關的投訴和查詢，請與一手住宅物業銷售監管局聯絡。

電話	: 2817 3313
電郵	: <a href="mailto:enquiry_srpa@hd.gov.hk">enquiry_srpa@hd.gov.hk</a>
傳真	: 2219 2220

其他相關聯絡資料：

	電話	傳真
消費者委員會	2929 2222	2590 6271
地產代理監管局	2111 2777	2598 9596
香港地產建設商會	2826 0111	2845 2521

<sup>1</sup> 一般而言，「關鍵日期」指該項目符合批地文件的條件的日期，或該項目在遵照經批准的建築圖則的情況下或按照豁免證明書的發出的條件在各方面均屬完成的日期。有關詳情請參閱條例第2條。

# 1 INFORMATION ON THE DEVELOPMENT, H • BONAIRE

## 發展項目，倚南的資料

### Name of the street and the street number

No. 68 Main Street, Ap Lei Chau

### Total number of storeys

32 storeys (excluding roof)

### Floor numbering

G/F, M/F, 1/F-3/F, 5/F-12/F, 15/F-23/F, 25/F-33/F and 35/F

### Omitted floor numbers

4/F, 13/F, 14/F, 24/F and 34/F are omitted

### Refuge floor

Located at 7/F

### This development is an uncompleted development:

- (a) The estimated material date for the development, as provided by the Authorized Person for the development is 6th February 2017.
- (b) The estimated material date is subject to any extension of time that is permitted under the Agreement for Sale and Purchase.
- (c) For the purpose of the Agreement for Sale and Purchase, the development is deemed to be completed on the date on which an occupation permit for every building in the development is issued.

### 街道名稱及門牌號數

鴨脷洲大街68號

### 樓層總數

32層(不包括天台)

### 樓層號數

地下、閣樓、1樓至3樓、5樓至12樓，15樓至23樓，25樓至33樓及35樓

### 被略去的樓層號數

不設4樓、13樓、14樓、24樓及34樓

### 庇護層

設於7樓

### 本發展項目屬未落成發展項目：

- (a) 由該項目的認可人士提供的該項目的預計關鍵日期為2017年2月6日。
- (b) 預計關鍵日期，是受到買賣合約所允許的任何延期所規限的。
- (c) 為買賣合約的目的，發展項目當作在佔用許可證就該項目中的每幢建築物發出的日期落成。

# 2 INFORMATION ON VENDOR AND OTHERS INVOLVED IN THE DEVELOPMENT

## 賣方及有參與發展項目的其他人的資料

### Vendor

Dynamic Hero Limited (also as the owner and whose holding companies are Henderson Development Limited, Henderson Land Development Company Limited, Mightymark Investment Limited, Good Time Limited and Broadwin Int'l Limited)

### Authorized person for the development

Mr. Zhou Xiaodong, Raymond of Andrew Lee King Fun & Associates Architects Limited  
(Mr. Zhou Xiaodong, Raymond is a deputy director of Andrew Lee King Fun & Associates Architects Limited)

### Building contractor

Heng Shung Construction Company Limited

### Vendor's solicitors

Vincent T. K. Cheung, Yap & Co.

### Authorized institution that has made a loan, or has undertaken to provide finance, for the construction of the development

Not applicable

### Any other person who has made a loan for the construction of the development

Henderson Real Estate Agency Limited

### 賣方

恒雄有限公司（亦為擁有人及其控權公司為恒基兆業有限公司、恒基兆業地產有限公司、謙耀置業有限公司、Good Time Limited及Broadwin Int'l Limited）

### 發展項目的認可人士

李景勳 • 雷煥庭建築師有限公司的周曉東先生  
(周曉東先生為李景勳 • 雷煥庭建築師有限公司的副董事)

### 承建商

恒順建築有限公司

### 賣方代表律師

張葉司徒陳律師事務所

### 已為發展項目的建造提供貸款或已承諾為該項建造提供融資的認可機構

不適用

### 已為發展項目的建造提供貸款的任何其他人

恒基兆業地產代理有限公司

3

RELATIONSHIP BETWEEN PARTIES INVOLVED IN THE DEVELOPMENT  
有參與發展項目的各方的關係

(a) The vendor or a building contractor for the development is an individual, and that vendor or contractor is an immediate family member of an authorized person for the development.	Not Applicable
(b) The vendor or a building contractor for the development is a partnership, and a partner of that vendor or contractor is an immediate family member of such an authorized person.	Not Applicable
(c) The vendor or a building contractor for the development is a corporation, and a director or the secretary of that vendor or contractor (or a holding company of that vendor) is an immediate family member of such an authorized person.	No
(d) The vendor or a building contractor for the development is an individual, and that vendor or contractor is an immediate family member of an associate of such an authorized person.	Not Applicable
(e) The vendor or a building contractor for the development is a partnership, and a partner of that vendor or contractor is an immediate family member of an associate of such an authorized person.	Not Applicable
(f) The vendor or a building contractor for the development is a corporation, and a director or the secretary of that vendor or contractor (or a holding company of that vendor) is an immediate family member of an associate of such an authorized person.	No
(g) The vendor or a building contractor for the development is an individual, and that vendor or contractor is an immediate family member of a proprietor of a firm of solicitors acting for the owner in relation to the sale of residential properties in the development.	Not Applicable
(h) The vendor or a building contractor for the development is a partnership, and a partner of that vendor or contractor is an immediate family member of a proprietor of a firm of solicitors acting for the owner in relation to the sale of residential properties in the development.	Not Applicable
(i) The vendor or a building contractor for the development is a corporation, and a director or the secretary of that vendor or contractor (or a holding company of that vendor) is an immediate family member of a proprietor of such a firm of solicitors.	No
(j) The vendor, a holding company of the vendor, or a building contractor for the development, is a private company, and an authorized person for the development, or an associate of such an authorized person, holds at least 10% of the issued shares in that vendor, holding company or contractor.	No
(k) The vendor, a holding company of the vendor, or a building contractor for the development, is a listed company, and such an authorized person, or such an associate, holds at least 1% of the issued shares in that vendor, holding company or contractor.	No
(l) The vendor or a building contractor for the development is a corporation, and such an authorized person, or such an associate, is an employee, director or secretary of that vendor or contractor or of a holding company of that vendor.	No
(m)The vendor or a building contractor for the development is a partnership, and such an authorized person, or such an associate, is an employee of that vendor or contractor.	Not Applicable
(n) The vendor, a holding company of the vendor, or a building contractor for the development, is a private company, and a proprietor of a firm of solicitors acting for the owner in relation to the sale of residential properties in the development holds at least 10% of the issued shares in that vendor, holding company or contractor.	No
(o) The vendor, a holding company of the vendor, or a building contractor for the development, is a listed company, and a proprietor of such a firm of solicitors holds at least 1% of the issued shares in that vendor, holding company or contractor.	No
(p) The vendor or a building contractor for the development is a corporation, and a proprietor of such a firm of solicitors is an employee, director or secretary of that vendor or contractor or of a holding company of that vendor.	No
(q) The vendor or a building contractor for the development is a partnership, and a proprietor of such a firm of solicitors is an employee of that vendor or contractor.	Not Applicable
(r) The vendor or a building contractor for the development is a corporation, and the corporation of which an authorized person for the development is a director or employee in his or her professional capacity is an associate corporation of that vendor or contractor or of a holding company of that vendor.	No
(s) The vendor or a building contractor for the development is a corporation, and that contractor is an associate corporation of that vendor or of a holding company of that vendor.	Yes The building contractor, Heng Shung Construction Company Limited, is an associate corporation of the vendor and all its holding companies.

3

RELATIONSHIP BETWEEN PARTIES INVOLVED IN THE DEVELOPMENT  
有參與發展項目的各方的關係

(a) 賣方或有關發展項目的承建商屬個人，並屬該項目的認可人士的家人。	不適用
(b) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬上述認可人士的家人。	不適用
(c) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述認可人士的家人。	否
(d) 賣方或該項目的承建商屬個人，並屬上述認可人士的有聯繫人士的家人。	不適用
(e) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬上述認可人士的有聯繫人士的家人。	不適用
(f) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述認可人士的有聯繫人士的家人。	否
(g) 賣方或該項目的承建商屬個人，並屬就該項目內的住宅物業的出售代表擁有人行事的律師事務所行事的經營人的家人。	不適用
(h) 賣方或該項目的承建商屬合夥，而該賣方或承建商的合夥人屬就該項目內的住宅物業的出售代表擁有人行事的律師事務所行事的經營人的家人。	不適用
(i) 賣方或該項目的承建商屬法團，而該賣方或承建商(或該賣方的控權公司)的董事或秘書屬上述律師事務所的經營人的家人。	否
(j) 賣方、賣方的控權公司或有關發展項目的承建商屬私人公司，而該項目的認可人士或該認可人士的有聯繫人士持有該賣方、控權公司或承建商最少10%的已發行股份。	否
(k) 賣方、賣方的控權公司或該項目的承建商屬上市公司，而上述認可人士或上述有聯繫人士持有該賣方、控權公司或承建商最少1%的已發行股份。	否
(l) 賣方或該項目的承建商屬法團，而上述認可人士或上述有聯繫人士屬該賣方、承建商或該賣方的控權公司的僱員、董事或秘書。	否
(m) 賣方或該項目的承建商屬合夥，而上述認可人士或上述有聯繫人士屬該賣方或承建商的僱員。	不適用
(n) 賣方、賣方的控權公司或該項目的承建商屬私人公司，而就該項目中的住宅物業的出售而代表擁有人行事的律師事務所的經營人持有該賣方、控權公司或承建商最少10%的已發行股份。	否
(o) 賣方、賣方的控權公司或該項目的承建商屬上市公司，而上述律師事務所的經營人持有該賣方、控權公司或承建商最少1%的已發行股份。	否
(p) 賣方或該項目的承建商屬法團，而上述律師事務所的經營人屬該賣方或承建商或該賣方的控權公司的僱員、董事或秘書。	否
(q) 賣方或該項目的承建商屬合夥，而上述律師事務所的經營人屬該賣方或承建商的僱員。	不適用
(r) 賣方或該項目的承建商屬法團，而該項目的認可人士以其專業身分擔任董事或僱員的法團為該賣方或承建商或該賣方的控權公司的有聯繫法團。	否
(s) 賣方或該項目的承建商屬法團，而該承建商屬該賣方或該賣方的控權公司的有聯繫法團。	是 <div>承建商恒順建築有限公司屬於賣方及其所有控權公司的有聯繫法團。</div>

4

INFORMATION ON DESIGN OF THE DEVELOPMENT

發展項目的設計的資料

There will be non-structural prefabricated external walls forming part of the enclosing walls of the development.

發展項目將會有構成圍封牆的一部分的非結構的預製外牆。

The range of thickness of the non-structural prefabricated external walls of each block is 150mm.

每幢建築物的非結構的預製外牆的厚度範圍為150毫米。

There will be curtain walls forming part of the enclosing walls of the development.

發展項目將會有構成圍封牆的一部分的幕牆。

The range of thickness of the curtain walls of each building is 300mm.

每幢建築物的幕牆的厚度範圍為300毫米。

Schedule of total area of the non-structural prefabricated external walls and curtain walls of each residential property  
每個住宅物業的非結構的預製外牆及幕牆的總面積表

Floor 樓層	Flat 室	The total area of the non-structural prefabricated external walls of each residential property (sq.m.) 每個住宅物業的非結構的預製外牆的總面積 (平方米)	The total area of the curtain walls of each residential property (sq.m.) 每個住宅物業的幕牆的總面積 (平方米)
3/F 3樓	A	0.539	2.520
	B	0.432	-
	C	0.310	1.149
	D	0.818	2.078
5/F-6/F 5樓-6樓	A	0.604	2.760
	B	0.476	-
	C	0.336	1.389
	D	0.818	2.317
8/F-11/F 8樓-11樓	A	1.068	3.744
	B	0.476	-
	C	0.336	1.389
	D	1.125	2.489
12/F 12樓	A	1.068	3.744
	B	0.476	-
	C	0.336	1.389
	D	1.125	2.489
15/F-23/F 15樓-23樓	A	1.068	3.744
	B	0.476	-
	C	0.336	1.389
	D	1.125	2.489
25/F-33/F 25樓-33樓	A	1.068	3.744
	B	0.476	-
	C	0.336	1.389
	D	1.125	2.489
35/F 35樓	A	0.137	6.828
	B	0.234	6.098

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## 5 INFORMATION ON PROPERTY MANAGEMENT 物業管理的資料

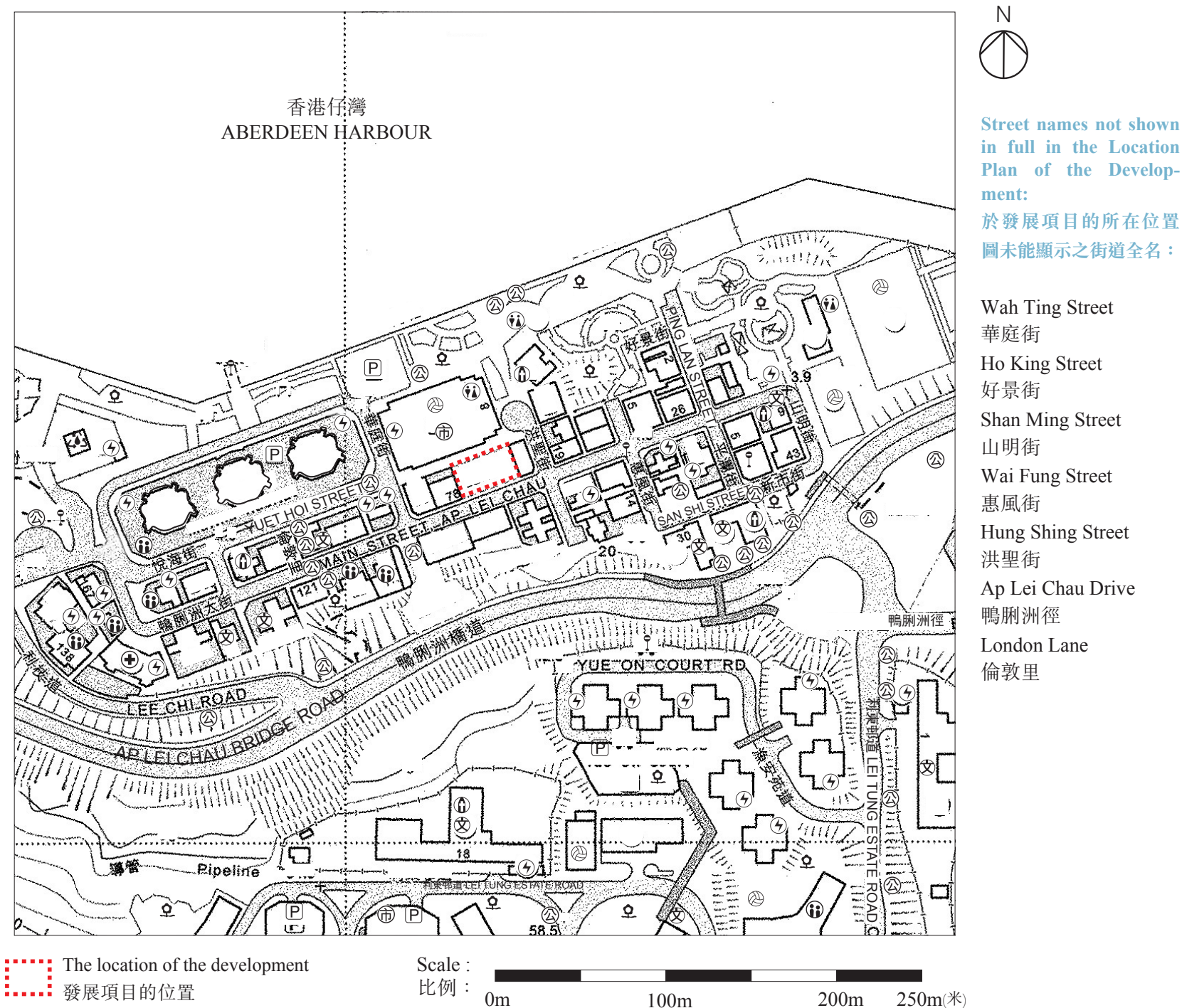
### Manager

H-Privilege Limited will be appointed as the Manager of the development under the latest draft deed of mutual covenant in respect of the development.

### 管理人

根據發展項目的公契的最新擬稿，尊家管業有限公司將獲委任為發展項目的管理人。

## 6 LOCATION PLAN OF THE DEVELOPMENT 發展項目的所在位置圖



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The above Location Plan is made with reference to Survey Sheet No. 15-NW-B dated 14th May 2014 with adjustments where necessary.  
上述發展項目的所在位置圖參考於2014年5月14日修訂之測繪圖編號15-NW-B，經修正處理。

### NOTATION 圖例

- |  |  |
|--|--|
| Sewage treatment works and facilities<br>污水處理廠及設施                      | Public utility installation<br>公用事業設施裝置  |
| Power plant (including electricity sub-stations)<br>發電廠 (包括電力分站)       | Religious institution (including church, temple and Tsz Tong)<br>宗教場所 (包括教堂、廟宇及祠堂)                             |
| Clinic<br>診療所  | School (including kindergarten)<br>學校 (包括幼稚園)  |
| Market (including wet market and wholesale market)<br>市場 (包括濕貨市場及批發市場) | Social welfare facilities (including elderly centre and home for mentally disabled)<br>社會福利設施 (包括老人中心及弱智人士護理院) |
| Public carpark (including lorry park)<br>公眾停車場 (包括貨車停泊處)               | Sports facilities (including sports ground and swimming pool)<br>體育設施 (包括運動場及游泳池)                              |
| Public convenience<br>公廁   | Public park<br>公園  |
| Public transport terminal (including rail station)<br>公共交通總站 (包括鐵路車站)  |  |

Note : Due to technical reasons, this location plan has shown more than the area required under the Residential Properties (First-hand Sales) Ordinance.  
備註 : 因技術性問題，此位置圖所顯示的範圍超過《一手住宅物業銷售條例》的規定。

## 7 AERIAL PHOTOGRAPH OF THE DEVELOPMENT 發展項目的鳥瞰照片



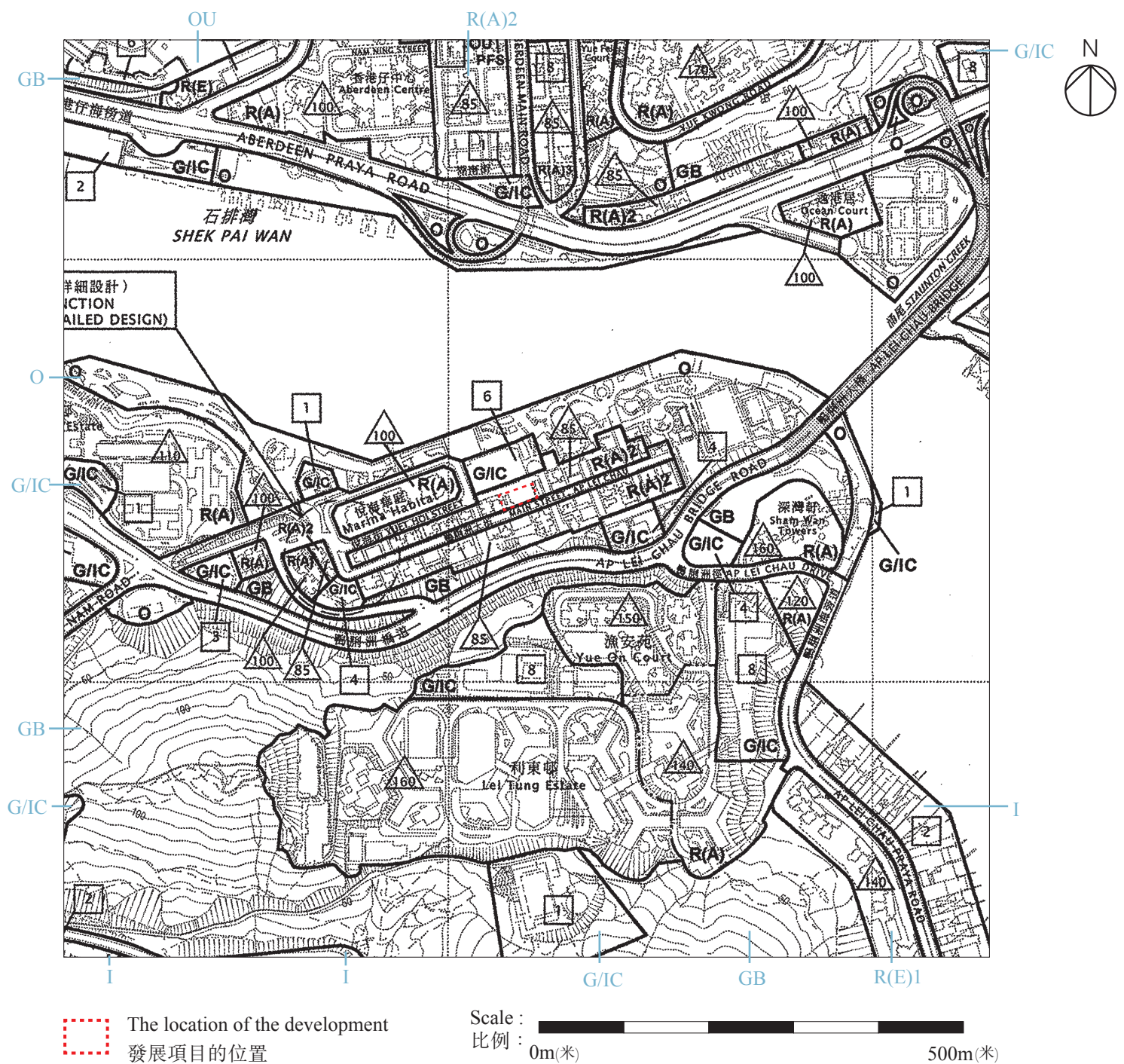
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Adopted from part of the aerial photograph taken by the Survey and Mapping Office of the Lands Department at a flying height of 6,000 feet, Photo No. CS47705 dated 1st January 2014.

摘錄自地政總署測繪處於2014年1月1日在6,000呎飛行高度拍攝之鳥瞰照片，編號為CS47705。

Note : Due to technical reasons, this aerial photograph has shown more than the area required under the Residential Properties (First-hand Sales) Ordinance.  
備註 : 因技術性問題，此鳥瞰照片所顯示的範圍超過《一手住宅物業銷售條例》的規定。

## 8 OUTLINE ZONING PLAN ETC. RELATING TO THE DEVELOPMENT 關乎發展項目的分區計劃大綱圖等



Excerpt from the approved Aberdeen and Ap Lei Chau (Hong Kong Planning Area No.15 & 16) Outline Zoning Plan with Plan No. S/H15/29 gazetted on 21st March 2014.

摘錄自 2014年3月21日刊憲之香港仔及鴨脷洲(港島規劃區第15及16區)分區計劃大綱核准圖，圖則編號為S/H15/29。

### NOTATION 圖例

#### ZONES 地帶

<span style="border: 1px solid black; padding: 2px;">R(A)</span>	Residential (Group A) 住宅(甲類)
<span style="border: 1px solid black; padding: 2px;">R(E)</span>	Residential (Group E) 住宅(戊類)
<span style="border: 1px solid black; padding: 2px;">G/I/C</span>	Government, Institution or Community 政府、機構或社區
<span style="border: 1px solid black; padding: 2px;">O</span>	Open Space 休憩用地
<span style="border: 1px solid black; padding: 2px;">OU</span>	Other Specified Uses 其他指定用途
<span style="border: 1px solid black; padding: 2px;">GB</span>	Green Belt 綠化地帶
<span style="border: 1px solid black; padding: 2px;">I</span>	Industrial 工業

#### COMMUNICATIONS 交通

<span style="display: inline-block; width: 20px; height: 10px; background: repeating-linear-gradient(45deg, transparent, transparent 2px, black 2px, black 4px);"></span>	Elevated Road 高架道路
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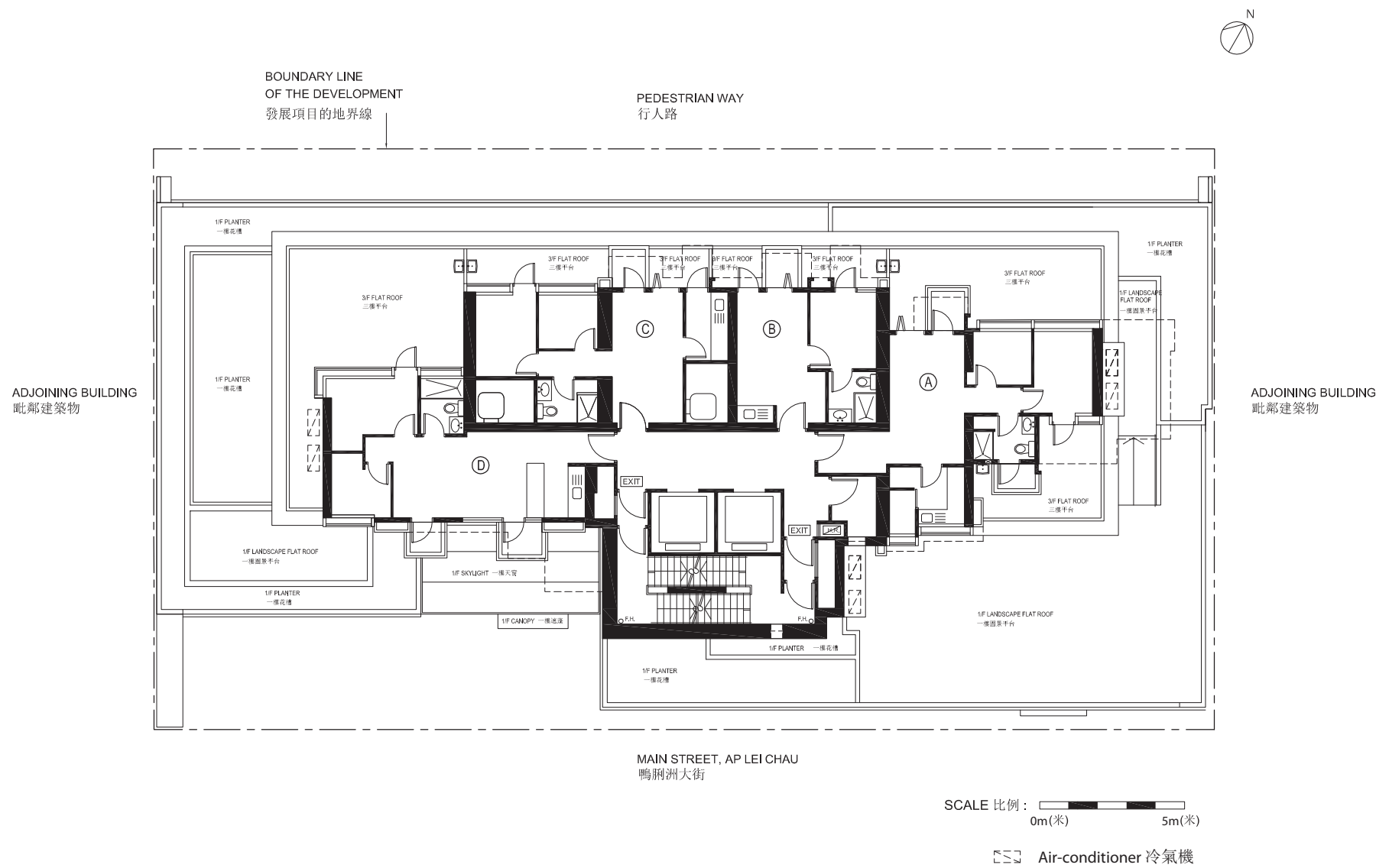
#### MISCELLANEOUS 其他

<span style="display: inline-block; width: 10px; height: 10px; border: 1px solid black; transform: rotate(45deg);"></span>	Maximum Building Height (In Metres Above Principal Datum) 最高建築物高度 (在主水平基準上若干米)
<span style="border: 1px solid black; padding: 2px;">2</span>	Maximum Building Height (In Number of Storeys) 最高建築物高度(樓層數目)

Note : Due to technical reasons, this outline zoning plan has shown more than the area required under the Residential Properties (First-hand Sales) Ordinance.

備註：因技術性問題，此分區計劃大綱圖所顯示的範圍超過《一手住宅物業銷售條例》的規定。

9 LAYOUT PLAN OF THE DEVELOPMENT  
發展項目的布局圖



The estimated date of completion of these buildings and facilities, as provided by the authorized person for the development is 6th February 2017.  
由發展項目的認可人士提供的該等建築物及設施的預計落成日期為2017年2月6日。

10

FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

發展項目的住宅物業的樓面平面圖

The remarks and legends on this page apply to all pages of "Floor plans of residential properties in the development".  
在本頁上之備註和圖例適用於「發展項目的住宅物業的樓面平面圖」的全部頁數。

Legends of the Floor Plans

樓面平面圖圖例

A/C PLATFORM	=	Air-conditioner Platform 冷氣機平台
冷氣機	=	Air-conditioning unit 冷氣機
ARCH. FEATURE	=	Architectural Feature 建築裝飾
BAL.	=	Balcony 露台
B.	=	Bathroom 浴室
C.L.	=	Cat Ladder 爬梯
M.B.R.1	=	Master Bedroom 1 主人睡房 1
B.R. 1	=	Bedroom 1 睡房 1
B.R. 2	=	Bedroom 2 睡房 2
B.R. 3	=	Bedroom 3 睡房 3
B.R. 4	=	Bedroom 4 睡房 4
ELECT. METER CABINET	=	Electric Meter Cabinet 電錶房
H.R.	=	Hose Reel 消防喉轆
KIT.	=	Kitchen 廚房
LIV./DIN.	=	Living Room / Dining Room 客廳/飯廳
L/L	=	Lower Level 低處
P.D.	=	Pipe Duct 管槽
R.C.Canopy	=	Reinforced Concrete Canopy 混凝土簷篷
STORE	=	Store Room 儲物房
U.P.	=	Utility Platform 工作平台

Remarks:

1. Common pipes exposed or enclosed in cladding may be located at the balcony, utility platform, flat roof, roof or external wall of some residential units.
2. There may be sunken slabs at some parts of the ceiling inside some residential units for the installation of mechanical and electrical services of the floor above or due to the structural, architectural and/or decoration design requirements of the floor above.
3. There may be ceiling bulkheads or false ceiling inside some residential units for the installation of air-conditioning conduits and/or other mechanical and electrical services.
4. The dimensions of the floor plans are all structural dimensions in millimeter.
5. Blank areas on flat roof are common areas for building facility maintenance.

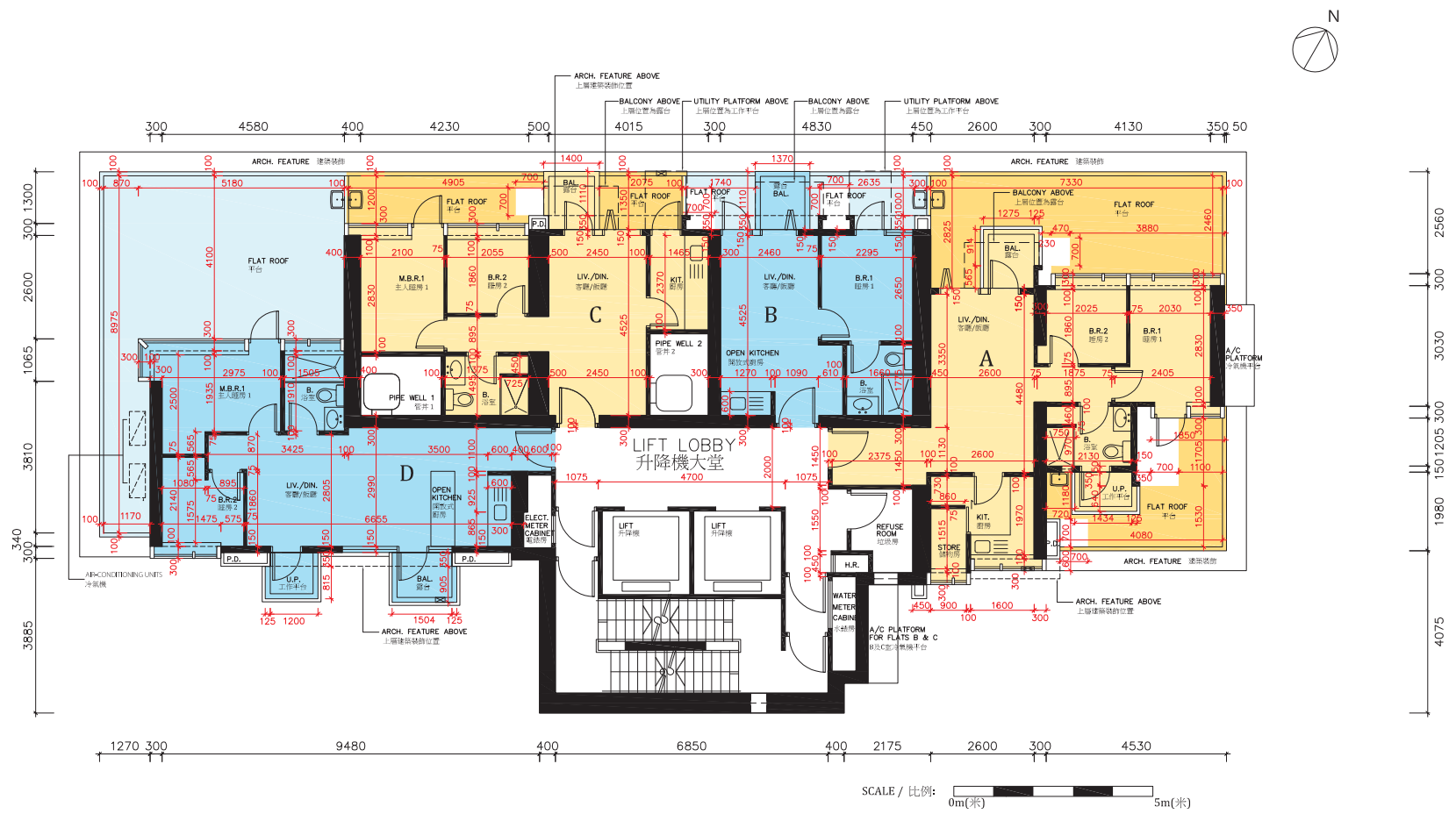
備註：

1. 部分住宅室的露台、工作平台、平台、天台或外牆或設有外露之公用喉管，或外牆裝飾板內藏之公用喉管。
2. 部分住宅室內之部分天花或有跌級樓板，用以安裝上層之機電設備或配合上層之結構、建築設計及/或裝修設計上的需要。
3. 部分住宅室內或設有假陣或假天花用以安裝冷氣喉管及/或其他機電設備。
4. 平面圖所列之數字以毫米標示之建築結構尺寸。
5. 平台空白位置為供維修大廈設備使用的公用地方。

# 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

3/F Floor Plan  
3樓平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度（毫米）	3/F 3樓	3150	3150	3150	3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板（不包括灰泥）的厚度（毫米）		150	175	150	225

Notes: Blank areas on flat roof are common areas for building facility maintenance.  
備註：平台空白位置為供維修大廈設備使用的公用地方。

Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

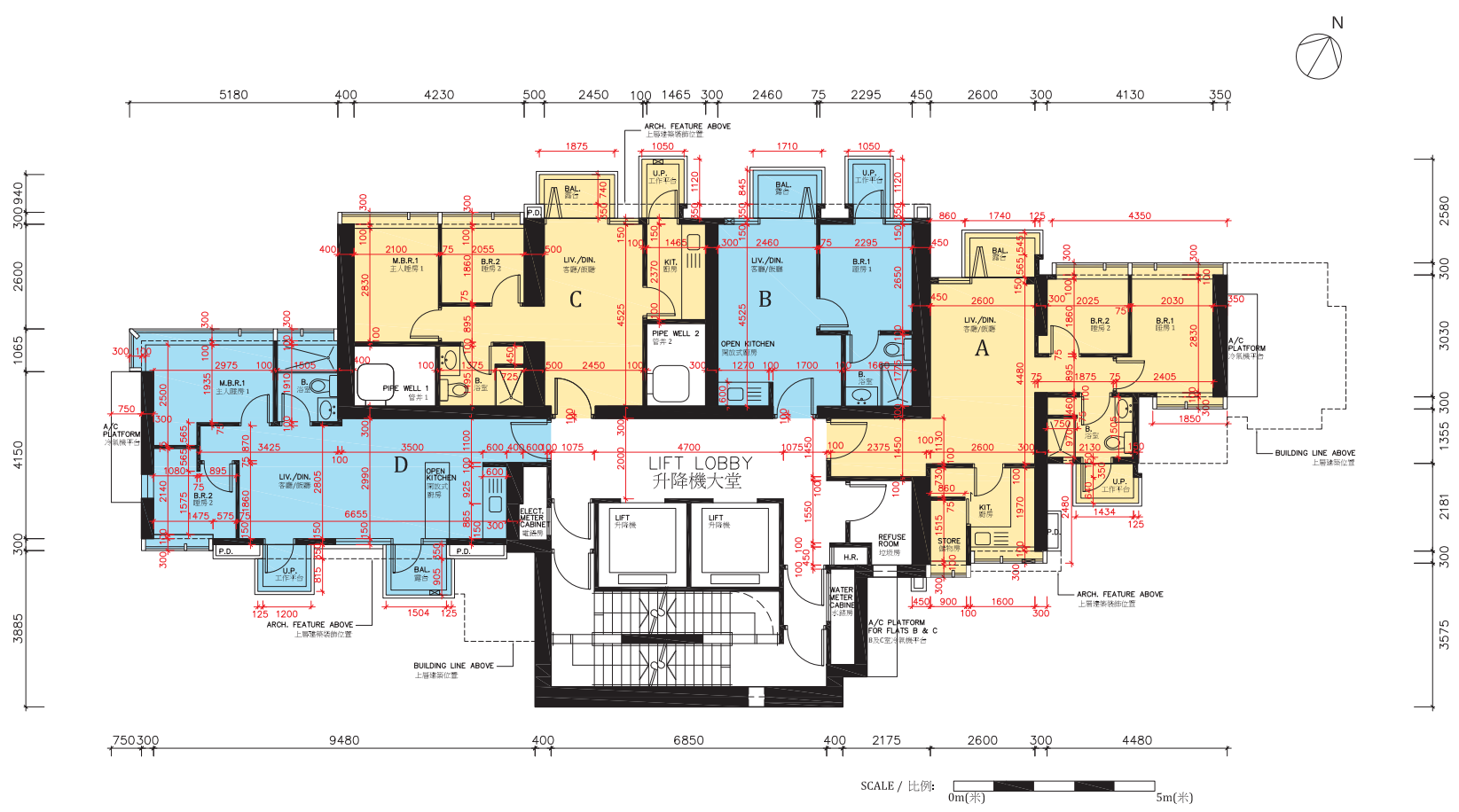
The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

# 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

5/F - 6/F Floor Plan  
5樓 - 6樓平面圖



Each Residential Property 每個住宅物業	Flat 室	A	B	C	D
	Floor 樓層				
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	5/F-6/F 5樓-6樓	3150	3150	3150	3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	150	225

Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

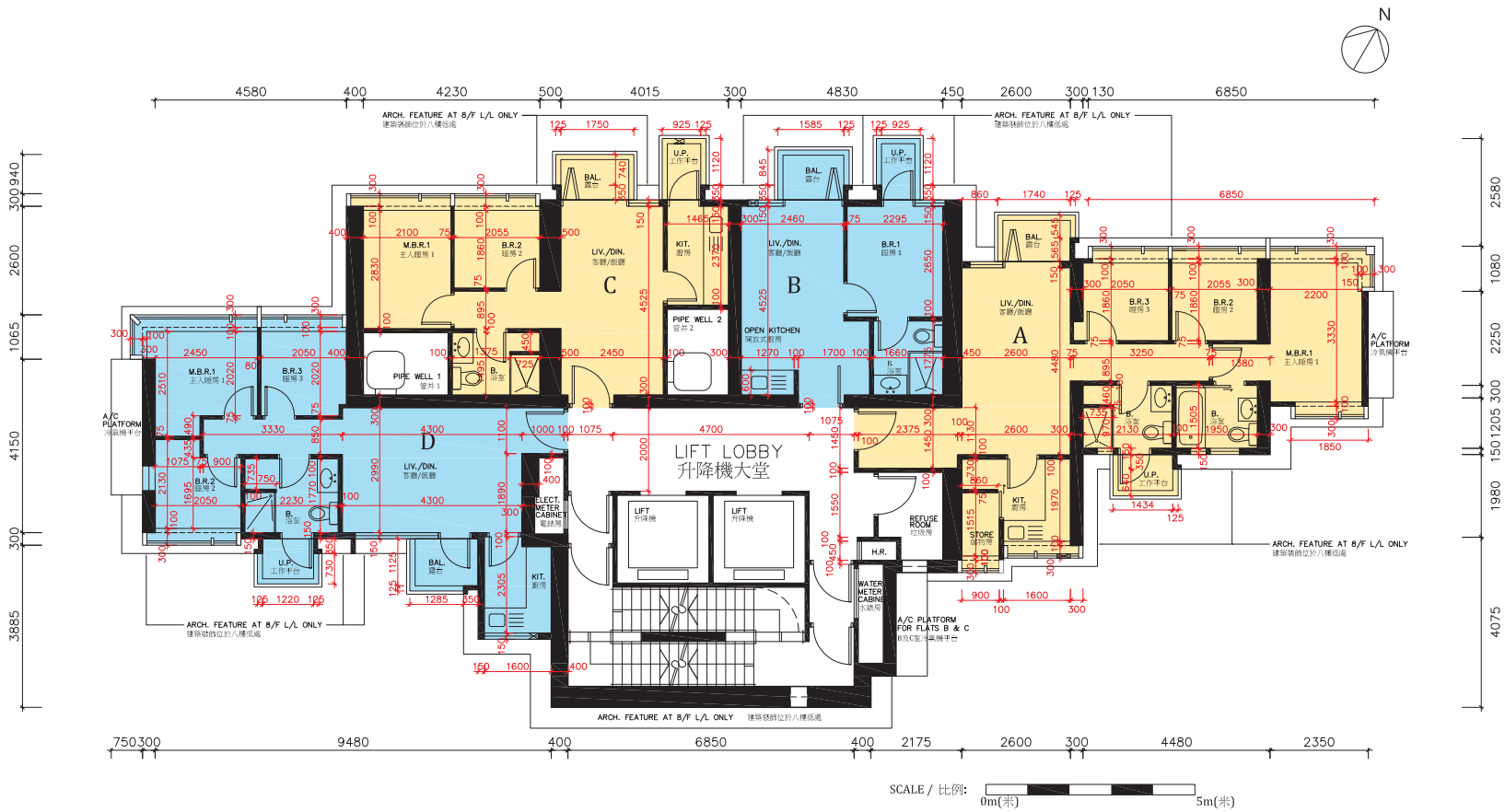
The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

# 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

8/F - 11/F and 15/F-23/F Floor Plan  
8樓 - 11樓及15樓 - 23樓平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	8/F-10/F and 15/F-23/F 8樓-10樓及15樓-23樓	3150	3150	3150	3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	150	150

Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	11/F 11樓	3150	3150	3150	2850, 3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	150	150

Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

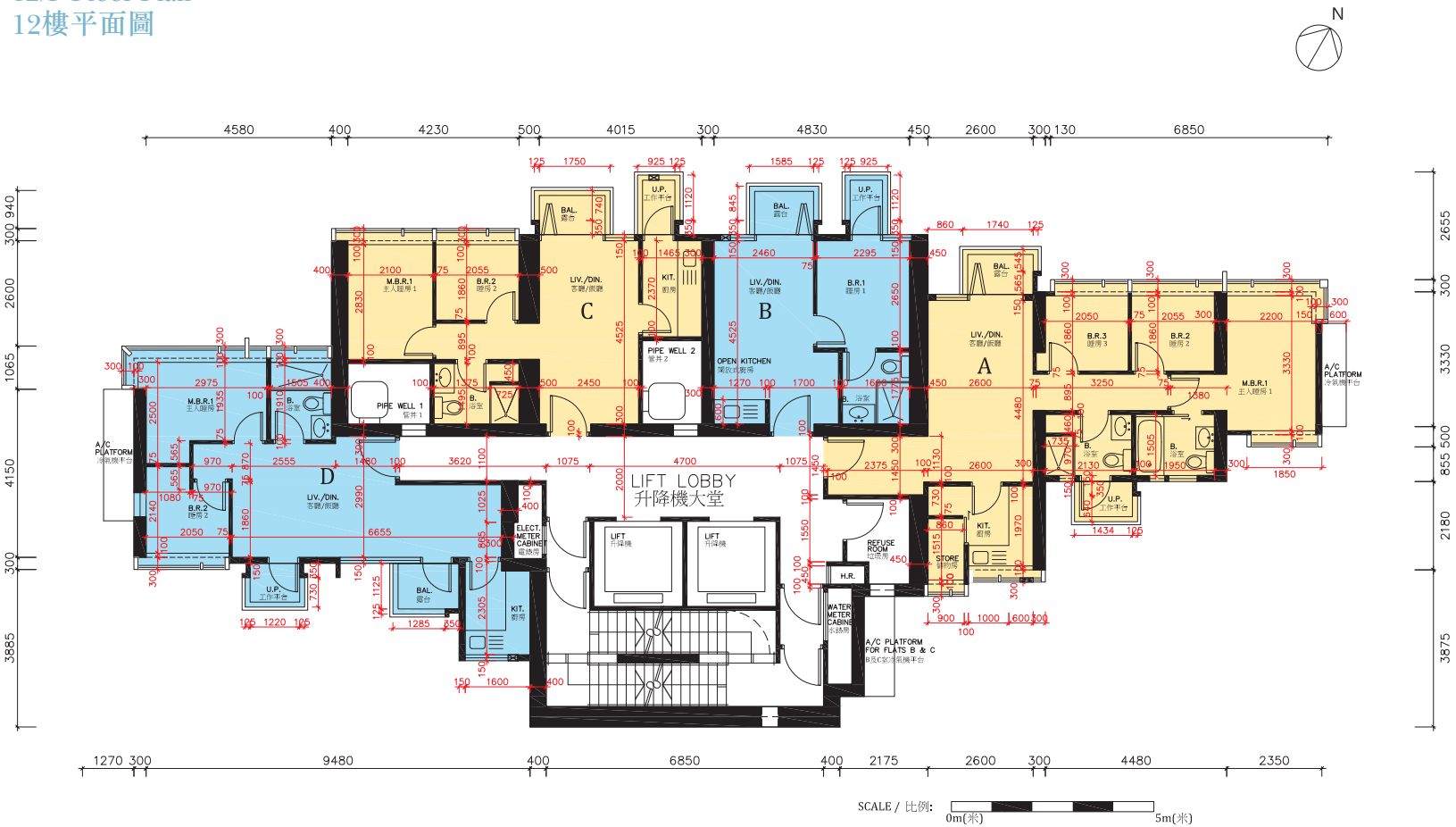
The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

# 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

12/F Floor Plan  
12樓平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	12/F 12樓	3150	3150	3150	2850, 3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	150	150

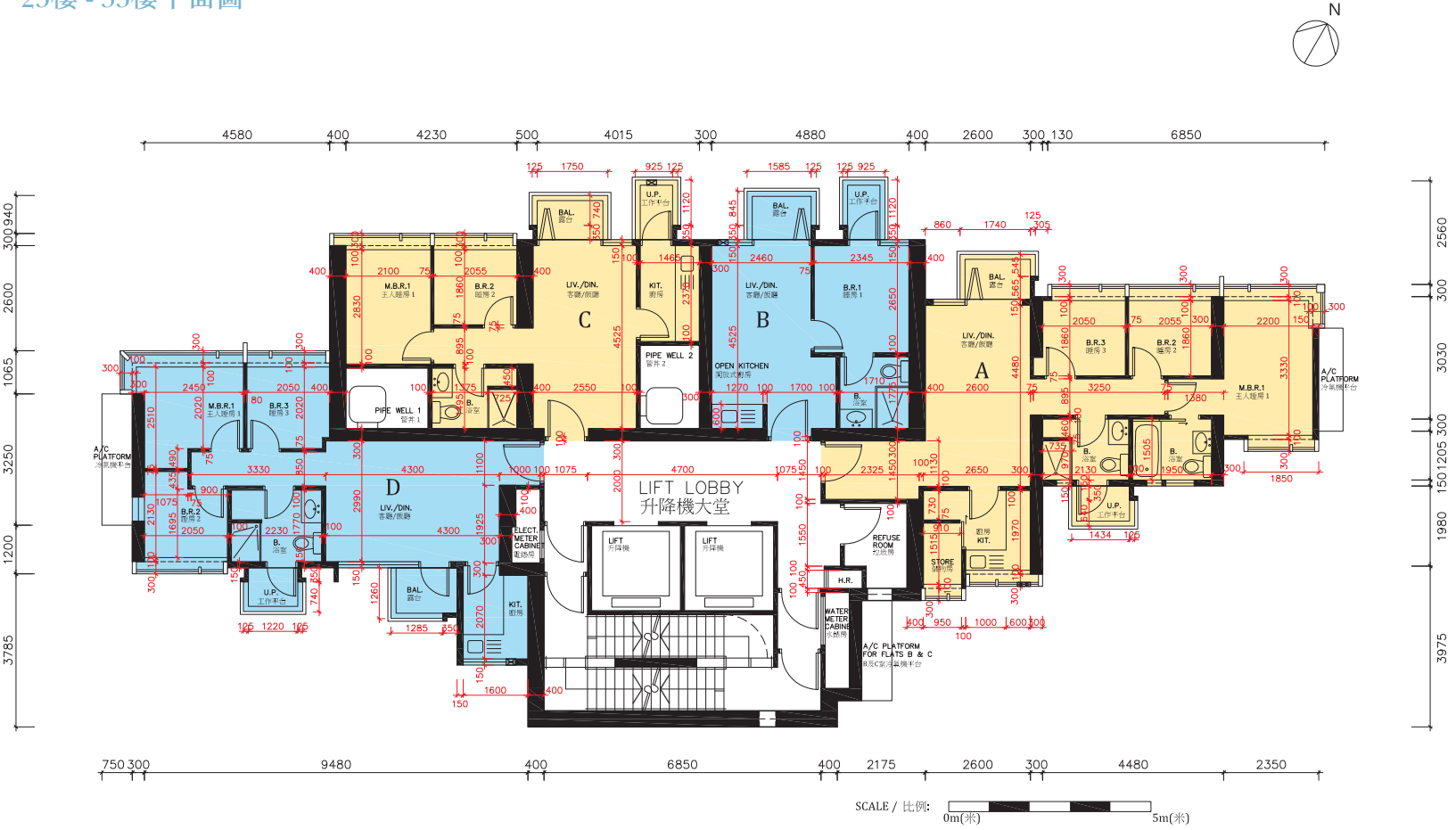
Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT  
發展項目的住宅物業的樓面平面圖

25/F - 33/F Floor Plan  
25樓 - 33樓平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	25/F-32/F 25樓-32樓	3150	3150	3150	3150
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	150	150

Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B	C	D
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	33/F 33樓	3100, 3350, 3450	3200, 3275, 3450	3200, 3275, 3450	3100, 3400, 3450
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150	175	175	150

Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

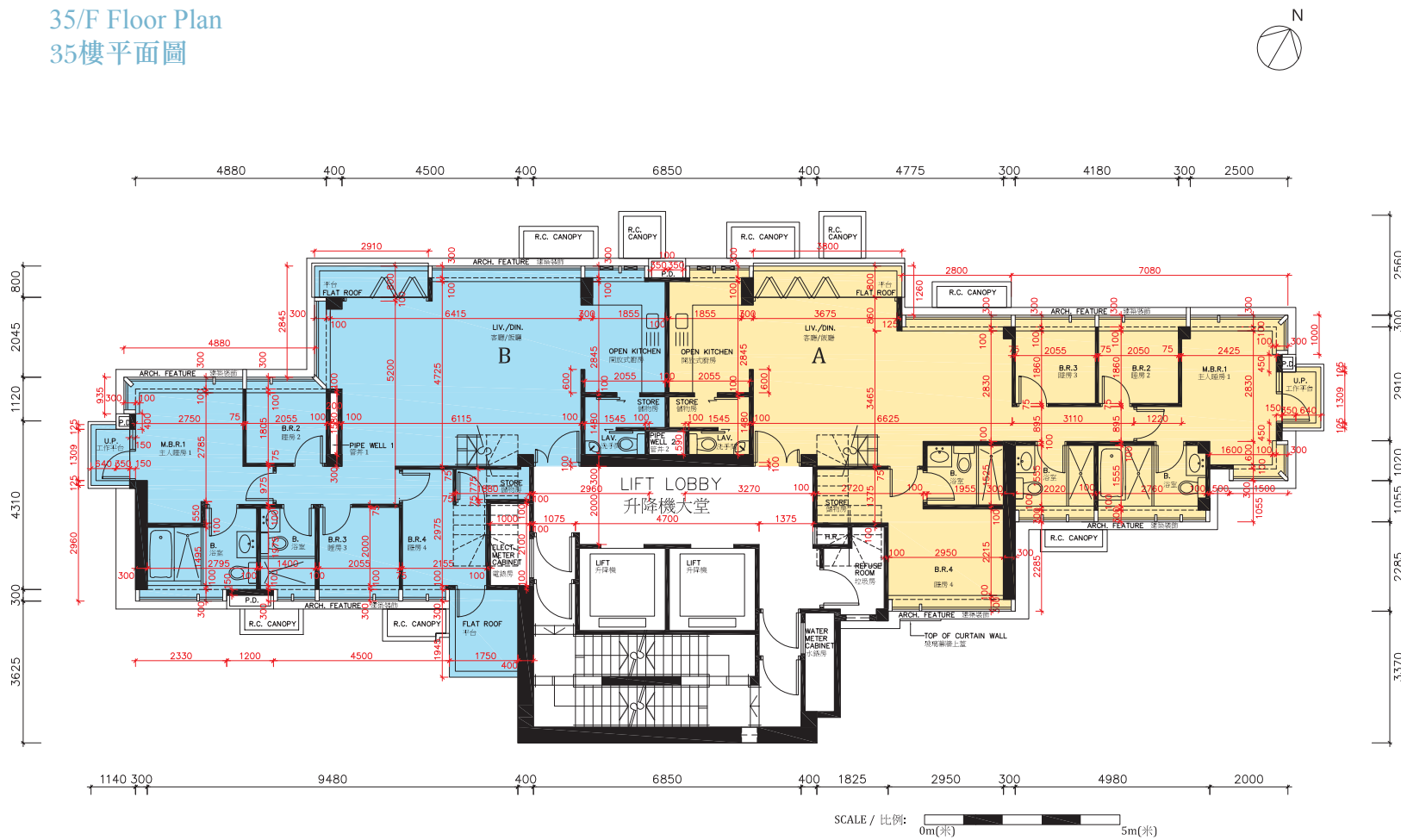
The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

# 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

## 發展項目的住宅物業的樓面平面圖

35/F Floor Plan  
35樓平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	35/F 35樓	3500	3500
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		150, 175	175, 250

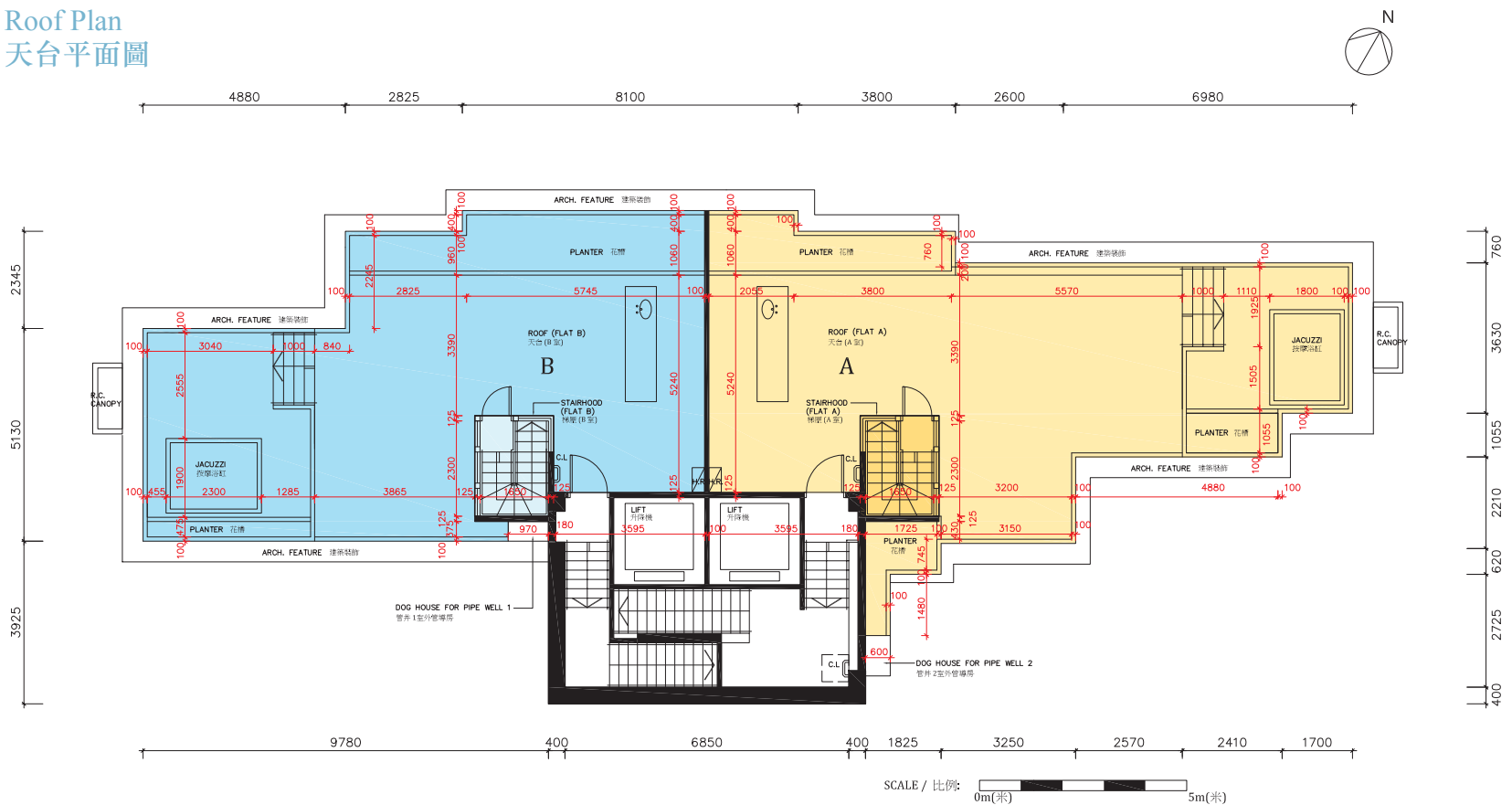
Notes: The dimensions in floor plans are all structural dimensions in millimeter.  
備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.  
因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

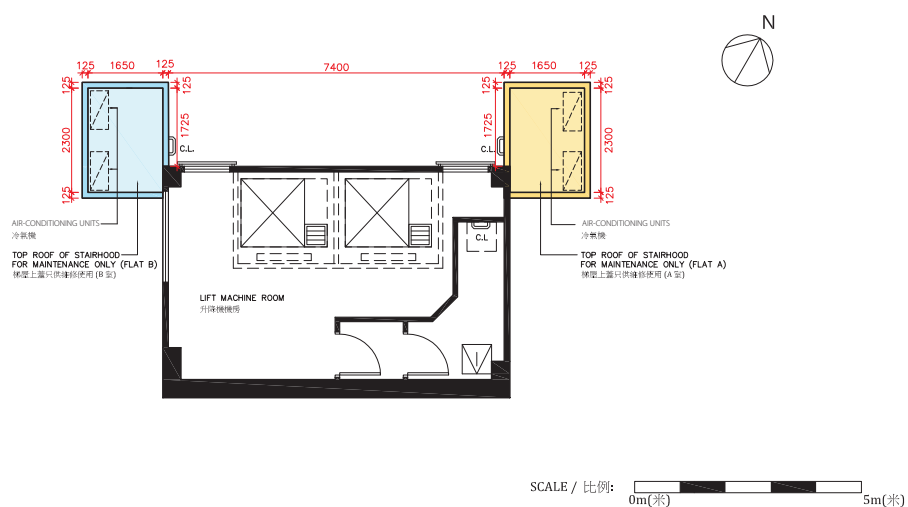
Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.  
請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

## 10 FLOOR PLANS OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT 發展項目的住宅物業的樓面平面圖

## Roof Plan 天台平面圖



## Lift Machine Room Plan 升降機房平面圖



Each Residential Property 每個住宅物業	Flat 室 Floor 樓層	A	B
Floor to Floor Height (mm) 層與層之間的高度 (毫米)	Roof 天台	N/A 不適用	N/A 不適用
Thickness of Floor Slab (excluding plaster) (mm) 樓板 (不包括灰泥) 的厚度 (毫米)		N/A 不適用	N/A 不適用

Notes: The dimensions in floor plans are all structural dimensions in millimeter.

備註：平面圖所列的數字為以毫米標示之建築結構尺寸。

The area of top roof of stairhood is not included in the area of roof / flat roof.

梯屋上蓋的面積不計算於天台/平台面積之內。

The internal areas of the residential properties on the upper floors will generally be slightly larger than those on the lower floors because of the reducing thickness of the structural walls on the upper floors.

因住宅物業的較高樓層的結構牆的厚度遞減，較高樓層的內部面積，一般比較低樓層的內部面積稍大。

Please refer to page 15 of this sales brochure for the remarks and legends of the terms and abbreviations for the floor plans of residential properties.

請參閱本售樓說明書第15頁為住宅物業樓面平面圖而設之備註及名詞及簡稱的圖例。

11

AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

發展項目中的住宅物業的面積

物業的描述 Description of Residential Property			實用面積 (包括露台，工作平台及陽台(如有)) 平方米(平方呎) Saleable Area (including balcony, utility platform and verandah, if any) sq.metre (sq.ft.)	其他指明項目的面積(不計算入實用面積) Area of other specified items (Not included in the Saleable Area) 平方米 (平方呎)sq.metre (sq.ft.)									
大廈名稱 Block Name	樓層 Floor	室 Flat		空調機房 Air-conditioning Plant Room	窗台 Bay Window	閣樓 Cockloft	平台 Flat Roof	花園 Garden	停車位 Parking Space	天台 Roof	梯屋 Stairhood	前庭 Terrace	庭院 Yard
倚南 H. BONAIRE	三樓 3/F	A	49.880 (537) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	23.030 (248)	-	-	-	-	-	-
		B	28.228 (304) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: - (-)	-	-	-	4.625 (50)	-	-	-	-	-	-
		C	40.254 (433) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: - (-)	-	-	-	8.122 (87)	-	-	-	-	-	-
		D	47.295 (509) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	30.189 (325)	-	-	-	-	-	-

11

AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT  
發展項目中的住宅物業的面積

物業的描述 Description of Residential Property			實用面積 (包括露台，工作平台及陽台(如有)) 平方米(平方呎) Saleable Area (including balcony, utility platform and verandah, if any) sq.metre (sq.ft.)	其他指明項目的面積(不計算入實用面積) Area of other specified items (Not included in the Saleable Area) 平方米 (平方呎)sq.metre (sq.ft.)									
大廈名稱 Block Name	樓層 Floor	室 Flat		空調機房 Air-conditioning Plant Room	窗台 Bay Window	閣樓 Cockloft	平台 Flat Roof	花園 Garden	停車位 Parking Space	天台 Roof	梯屋 Stairhood	前庭 Terrace	庭院 Yard
倚南 H·BONAIRE	五樓至六樓 5/F-6/F	A	49.880 (537) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		B	29.727 (320) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		C	41.754 (449) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		D	47.294 (509) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
	八樓至十一樓 8/F-11/F	A	62.682 (675) Balcony 露台: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		B	29.728 (320) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		C	41.756 (449) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		D	52.646 (567) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-

11

AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT  
發展項目中的住宅物業的面積

物業的描述 Description of Residential Property			實用面積 (包括露台，工作平台及陽台(如有)) 平方米(平方呎) Saleable Area (including balcony, utility platform and verandah, if any) sq.metre (sq.ft.)	其他指明項目的面積(不計算入實用面積) Area of other specified items (Not included in the Saleable Area) 平方米 (平方呎)sq.metre (sq.ft.)									
大廈名稱 Block Name	樓層 Floor	室 Flat		空調機房 Air-conditioning Plant Room	窗台 Bay Window	閣樓 Cockloft	平台 Flat Roof	花園 Garden	停車位 Parking Space	天台 Roof	梯屋 Stairhood	前庭 Terrace	庭院 Yard
倚南 H· BONAIRE	十二樓 12/F	A	62.682 (675) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		B	29.728 (320) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		C	42.186 (454) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		D	47.938 (516) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
	十五樓至 二十三樓 15/F-23/F	A	62.682 (675) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		B	29.728 (320) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		C	41.756 (449) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		D	52.646 (567) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-

11

AREA OF RESIDENTIAL PROPERTIES IN THE DEVELOPMENT

發展項目中的住宅物業的面積

物業的描述 Description of Residential Property			實用面積 (包括露台，工作平台及陽台(如有)) 平方米(平方呎) Saleable Area (including balcony, utility platform and verandah, if any) sq.metre (sq.ft.)	其他指明項目的面積(不計算入實用面積) Area of other specified items (Not included in the Saleable Area) 平方米 (平方呎)sq.metre (sq.ft.)									
大廈名稱 Block Name	樓層 Floor	室 Flat		空調機房 Air-conditioning Plant Room	窗台 Bay Window	閣樓 Cockloft	平台 Flat Roof	花園 Garden	停車位 Parking Space	天台 Roof	梯屋 Stairhood	前庭 Terrace	庭院 Yard
倚南 H·BONAIRE	二十五樓至三十三樓 25/F-33/F	A	62.599 (674) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		B	29.811 (321) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		C	41.756 (449) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
		D	52.646 (567) 露台Balcony: 2.0 (22) 工作平台 Utility Platform: 1.5 (16)	-	-	-	-	-	-	-	-	-	-
	三十五樓 35/F	A	89.065 (959) 露台Balcony: - ( - ) 工作平台 Utility Platform: 1.5 (16)	-	-	-	2.481 (27)	-	-	84.209 (906)	3.882 (42)	-	-
		B	88.425 (952) 露台Balcony: - ( - ) 工作平台 Utility Platform: 1.5 (16)	-	-	-	5.232 (56)	-	-	80.006 (861)	3.882 (42)	-	-

The saleable area and area of other specified items of the residential properties are calculated respectively in accordance with Section 8 and Part 2 of Schedule 2 of the Residential Properties (First-hand Sales) Ordinance.

Notes: Areas in square metre as specified in the above are calculated in accordance with the latest approved building plans. Areas in square feet are converted at a rate of 1 square metre to 10.764 square feet and rounded to the nearest integer.

實用面積及屬該住宅物業其他指明項目的面積是按照《一手住宅物業銷售條例》第8條及附表2第2部分別計算得出的。

備註： 上述所列以平方米顯示之面積乃依據最近的批准建築圖則計算。以平方呎顯示之面積均依據1平方米=10.764平方呎換算，並四捨五入至整數。

12 FLOOR PLANS OF PARKING SPACES IN THE DEVELOPMENT  
發展項目中的停車位的樓面平面圖

Not Applicable

不適用

13 SUMMARY OF PRELIMINARY AGREEMENT FOR SALE AND PURCHASE  
臨時買賣合約的摘要

1. A preliminary deposit which is equal to 5% of the purchase price is payable by the purchaser to the vendor (the owner) upon signing of the preliminary agreement for sale and purchase.

2. The preliminary deposit paid by the purchaser on the signing of that preliminary agreement for sale and purchase will be held by a firm of solicitors acting for the owner, as stakeholders.

3. If the purchaser fails to sign the formal agreement for sale and purchase within 5 working days after the date on which the purchaser enters into that preliminary agreement for sale and purchase -

i. that preliminary agreement for sale and purchase is terminated; and

ii. the preliminary deposit paid by the purchaser is forfeited; and

iii. the vendor (the owner) does not have any further claim against the purchaser for the failure.
1. 買方在簽署臨時買賣合約時須向賣方（擁有人）繳付相等於樓價5%之臨時訂金。

2. 買方在簽署臨時買賣合約時支付的臨時訂金，會由代表擁有人行事的律師事務所以保證金保存人的身分持有。

3. 如買方沒有在訂立該臨時買賣合約之後的5個工作日內簽立正式買賣合約 -

i. 該臨時買賣合約即告終止；及

ii. 買方支付的臨時訂金，即予沒收；及

iii. 賣方（擁有人）不得就買方沒有簽立正式買賣合約，而對買方提出進一步申索。

14

SUMMARY OF DEED OF MUTUAL COVENANT

公契的摘要

1. The common parts of the development

"Common Areas" means collectively the Estate Common Areas and the Residential Common Areas (each of which Common Areas shall, where applicable, include those appropriate and relevant common parts specified in Schedule 1 to the Building Management Ordinance (Cap.344)).

"Common Facilities" means collectively the Estate Common Facilities and the Residential Common Facilities (each of which Common Facilities shall, where applicable, include those appropriate and relevant common parts specified in Schedule 1 to the Building Management Ordinance (Cap.344)).

"Estate Common Areas" means those parts of the development erected on Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, Section A of Aplichau Marine Lot No.26, the Remaining Portion of Aplichau Marine Lot No.26, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 (collectively "the Estate") which do not form part of the Residential Common Areas and are intended for the common use and benefit of the Estate as a whole and not just any particular part thereof and which subject to the provisions of the Deed of Mutual Covenant are to be used by each Owner and Occupier in common with all other Owners and Occupiers of the Estate which said parts include but not limited to (a) such foundations, columns, beams, slabs and other structural supports and elements that do not belong to or form part of the Commercial Units or the Residential Units; and (b) the external walls of the podium of the Estate including the claddings and the architecture fins and features thereon and the curtain wall structure thereof BUT excluding such part of the external walls (including the curtain wall structure thereof) as shown and colored green and red as the Residential Common Areas and the Commercial Development respectively on the plans annexed to the Deed of Mutual Covenant and the parapet walls surrounding the flat roofs of the Residential Units on the Third Floor of the Estate; (c) areas for the installation or use of aerial broadcast distribution or telecommunications network facilities; (d) the existing party wall separating the Estate from the adjoining building; and (e) all those areas which for the purpose of identification only are shown and colored yellow as the Estate Common Areas on the plans annexed to the Deed of Mutual Covenant.

"Estate Common Facilities" means all those facilities in the Estate which do not form part of the Residential Common Facilities and are intended for the common use and benefit of the Estate as a whole and not just any particular part thereof and which subject to the provisions of the Deed of Mutual Covenant are to be used by each Owner and Occupier in common with all other Owners and Occupiers of the Estate and includes but not limited to the communal aerial, sewers, drains, storm water drains, water courses, cables, pipes, wires, ducts, flushing mains, fresh water mains, plant and machinery and other like installations, facilities or services.

"Residential Common Areas" means those parts of the Residential Development intended for the common use and benefit of the Residential Development as a whole and not just any particular Residential Unit and which subject to the provisions of the Deed of Mutual Covenant are to be used by each Owner and Occupier of the Residential Units in common with all other owners and occupiers of the Residential Units which said parts include but not limited to (a) the external walls of the residential tower of the Estate not forming part of the Residential Units including the architecture fins and features thereon, the air-conditioner platforms (including the louvers thereof (if any)) adjacent to the Residential Units, the curtain wall structure of the residential tower of the Estate (except (i) the openable parts of the curtain wall structure and (ii) such pieces of glass panels wholly enclosing or fronting a Residential Unit which said openable parts and glass panels shall form parts of the relevant Residential Units) BUT excluding the

glass balustrades, metal balustrades or railings of the balconies, utility platforms, flat roofs or specified parts of roofs which form parts of the relevant Residential Units; (b) the external walls of the podium of the Estate as shown and coloured green as the Residential Common Areas on the plans annexed to the Deed of Mutual Covenant; (c) the external wall on the roof of the Estate; and (d) all those areas which for the purpose of identification only are shown and coloured green as the Residential Common Areas on the plans annexed to the Deed of Mutual Covenant.

"Residential Common Facilities" means all those facilities in the Estate intended for the common use and benefit of the Residential Development as a whole and not just any particular Residential Unit and which subject to the provisions of the Deed of Mutual Covenant are to be used by each Owner and Occupier of the Residential Units in common with all other Owners and Occupiers of the Residential Units and includes but not limited to all lifts, wires, cables, ducts, pipes, drains, sports and recreational facilities in the Recreational Areas and Facilities and all mechanical and electrical installations and equipment exclusively for the Residential Development.

2. The number of undivided shares assigned to each residential property in the development

Floor	Undivided Shares for Each Residential Property			
	Flat			
	A	B	C	D
3/F	51/5600	28/5600	40/5600	50/5600
5/F-6/F	49/5600	29/5600	41/5600	47/5600
8/F-11/F	62/5600	29/5600	41/5600	52/5600
12/F	62/5600	29/5600	42/5600	47/5600
15/F-23/F	62/5600	29/5600	41/5600	52/5600
25/F-33/F	62/5600	29/5600	41/5600	52/5600
35/F	100/5600	100/5600	-	-

\*4/F, 13/F, 14/F, 24/F & 34/F are omitted.

3. The term of years for which the manager of the development is appointed

The Manager is to be appointed for an initial term of two years from the date of the Deed of Mutual Covenant and to be continued thereafter unless and until the termination of the Manager’s appointment in accordance with the provisions thereof.

4. The basis on which the management expenses are shared among the owners of the residential properties in the development

The Owner of each Residential Unit shall contribute towards the management expenses (including the Manager’s remuneration) of the development by paying in advance on the first day of each calendar month 1/12th of the due proportion of the annual expenditure in accordance with the Residential Management Budget which due proportion shall be the same proportion as the number of Management Units allocated to his Residential Unit bears to the total number of Management Units allocated to all the Residential Units in the development.

5. The basis on which the management fee deposit is fixed

The management fee deposit is equivalent to three months’ management contribution based on the first annual Management Budget payable by the Owner in respect of his Residential Unit.

6. The area (if any) in the development retained by the owner for that owner’s own use

Not applicable.

Remark: Unless otherwise defined in this sales brochure, the capitalized terms used in this Summary of Deed of Mutual Covenant shall have the same meaning of such terms in the Deed of Mutual Covenant.

14 SUMMARY OF DEED OF MUTUAL COVENANT

公契的摘要

1. 發展項目的公用部分

「公用地方」統指屋苑公用地方及住宅公用地方(各公用地方在適用的情況下包括《建築物管理條例》(第344章)附表1所列舉的相關公用部分)。

「公用設施」統指屋苑公用設施及住宅公用設施(各公用設施在適用的情況下包括《建築物管理條例》(第344章)附表1所列舉的相關公用部分)。

「屋苑公用地方」指興建於鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第26號A段、鴨脷洲海旁地段第26號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的發展項目(統稱為「該屋苑」)內不構成住宅公用地方及供該屋苑整體而非特定部分的使用及享用，並受公契條款規定每位擁有人及住客與所有其他該屋苑擁有人及住客共同使用的部分，包括但不限於(a)地基、柱、橫樑、樓板及其他結構性支承物，以及不屬於或構成商業單位或住宅單位的部分;(b)該屋苑平台層之外牆部分，連同相關建築物的面板、建築鱗片及特色和大廈玻璃幕牆結構，但不包括以綠色及紅色作識別顯示在附於公契內圖則的外牆部分(包括該部分之大廈玻璃幕牆結構)，以及包圍該屋苑3樓住宅單位平台的護牆；(c)安裝或使用天線廣播分導系統或電訊網絡設施的地方;(d)所有以黃色及黑色斜線作識別顯示在附於公契內圖則用以分隔該屋苑及毗連大廈的現有共用牆;及(e)所有以黃色作識別顯示在附於公契內圖則的部分。

「屋苑公用設施」指所有不構成住宅公用設施及供該屋苑整體而非特定部分的使用及享用，並受公契條款規定每位擁有人及住客與所有其他該擁有人及住客共同使用的設施，包括但不限於公共天線、污水管、排水渠、雨水渠、水道、電纜,水管、電線、管槽、總沖廁水管、總食水管、機械及機械裝置房設施和其他類似的裝置、設施或服務。

「住宅公用地方」指供住宅發展項目整體而非單一住宅單位的使用及享用，並受公契條款規定每位住宅單位擁有人及住客與所有其他住宅單位擁有人及住客共同使用的住宅發展項目部分，包括但不限於(a)該屋苑住宅大樓不構成住宅單位部分的外牆，包括相關建築鱗片裝及特色，毗連住宅單位用以安放冷氣機之平台(及通風用之百葉窗(如有的話))、該屋苑住宅大樓玻璃幕牆結構 (不包括(i)玻璃幕牆結構可開啟的部分；及(ii)完全封閉或面向住宅單位的玻璃嵌板，而上述可開啟部分及玻璃嵌板組成有關住宅單位的部分)，但不包括玻璃欄杆、金屬欄杆或露台、工作平台、天台或構成相關住宅單位的指明天台部分的欄杆；(b)所有以綠色作識別顯示在附於公契內圖則的屋苑平台層外牆部分;(c)該屋苑屋頂的外牆及(d)所有以綠色作識別顯示在附於公契內圖則的地方。

「住宅公用設施」指所有供住宅發展項目整體而非單一住宅單位的使用及享用，並受公契條款規定每位住宅單位擁有人及住客與所有其他住宅單位擁有人及住客共同使用該屋苑的設施，包括但不限於所有升降機、電線、電纜、管槽、水管、排水渠、設於康樂地方與設施的運動及康樂設施與及所有供住宅發展項目獨享的機電工程裝置及設備。

2. 分配予發展項目中的每個住宅物業的不可分割份數的數目

樓層	每個住宅單位之不可分割份數			
	室			
	A	B	C	D
3樓	51/5600	28/5600	40/5600	50/5600
5樓 - 6樓	49/5600	29/5600	41/5600	47/5600
8樓 - 11樓	62/5600	29/5600	41/5600	52/5600
12樓	62/5600	29/5600	42/5600	47/5600
15樓 - 23樓	62/5600	29/5600	41/5600	52/5600
25樓 - 33樓	62/5600	29/5600	41/5600	52/5600
35樓	100/5600	100/5600	-	-

\*不設4樓、13樓、14樓、24樓及34樓。

3. 發展項目的管理人的委任年期

管理人首屆任期由簽訂公契日期起計兩年，其後續任至按公契的條文終止管理人的委任為止。

4. 在發展項目中的住宅物業的擁有人之間分擔管理開支的計算基準

每個住宅單位的擁有人應在每個曆月首日預繳按住宅管理預算案其應繳的年度開支份額的十二份之一的管理費，以分擔發展項目的管理開支(包括管理人酬金)。該應付的份額比例，應與分配給該擁有人住宅單位的管理份數佔分配給發展項目內所有住宅單位的總管理份數的比例相同。

5. 計算管理費按金的基準

管理費按金相等於擁有人就其單位按首個年度管理預算案釐定而須繳交的三個月管理費。

6. 擁有人在發展項目中保留作自用的範圍 (如有的話)

不適用。

附註： 除非本售樓說明書另有規定，本公契的摘要內所用的詞彙與該詞彙在公契內的意思相同

## 15 SUMMARY OF LAND GRANT 批地文件的摘要

1. The development is constructed on Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, Section A of Aplichau Marine Lot No.26, the Remaining Portion of Aplichau Marine Lot No.26, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 (collectively “the Land”).
2. (i) Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2 and the Remaining Portion of Aplichau Marine Lot No.2 of the Land are held under two Government Leases for two several terms both of 75 years commencing from 11<sup>th</sup> June 1925 and renewable for 75 years.  
(ii) The Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land are held under a Government Lease for a term of 75 years commencing from 29<sup>th</sup> July 1926 and renewable for 75 years.  
(iii) Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 of the Land are held under the Conditions of Exchange No.UB2058 for a term of 75 years commencing from 18<sup>th</sup> June 1925 and renewable for 75 years.
3. The Land Grant of Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land stipulates that the said lots shall not be used for the trade or business of a Brazier, Slaughterman, Soap-maker, Sugar-baker, Fellmonger, Melter of tallow, Oilman, Butcher, Distiller, Victualler or Tavern-keeper, Blacksmith, Nightman, Scavenger or any other noisy, noisome or offensive trade or business whatever without the previous licence of the Government. By virtue of two letters dated 18<sup>th</sup> July 2014 and 21<sup>st</sup> October 2014 and registered in the Land Registry by Memorial Nos. 14073100960010 and 14103000790022 respectively, the Government has approved a licence to be granted to the registered owner of the Land (including its successors and assigns) to carry out the trade or business of sugar-baker, oilman (excluding petrol filling station), butcher, victualler and tavern-keeper in or upon the Land.
4. The Land Grant of Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land provides that the Lessees “shall and will, from time to time, and at all times hereafter, when, where, and as often as need or occasion shall be and require, at his and their own proper costs and charges, well and sufficiently Repair, Uphold, Support, Maintain, Pave, Purge, Scour, Cleanse, Empty, Amend and keep the messuage or tenement, messuages or tenements, and all other erections and buildings, now or at any time hereafter standing upon the said piece or parcel of ground hereby expressed to be demised, and all the Walls, Banks, Cuttings, Hedges, Ditches, Rails, Lights, Pavements, Privies, Sinks, Drains and Watercourses thereunto belonging, and which shall in any-wise belong or appertain unto the same, in, by and with all and all manner of needful and necessary reparations, cleansings and amendments whatsoever, the whole to be done to the satisfaction of the Surveyor of His said Majesty, His Heirs, Successors, or Assigns; and the said messuage or tenement, messuages or tenements, erections, buildings and premises, so being well and sufficiently repaired, sustained and amended, at the end, or sooner determination of the said term hereby granted, shall and will peaceably and quietly deliver up to His said Majesty, His Heirs, Successors or Assigns.”
5. The Land Grant of Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land provides that the Lessees “shall and will during the term hereby granted, as often as need shall require, bear, pay and allow a reasonable share and proportion for and towards the costs and charges of making, building, repairing and amending, all or any roads, pavements, channels, fences and party-walls, draughts, private or public sewers and drains, requisite for, or in, or belonging to the said premises hereby expressed to be demised or any part thereof, in common with other premises near or adjoining thereto, and that such proportion shall be fixed and ascertained by the Surveyors of His said Majesty, His Heirs, Successors or Assigns, and shall be recoverable in the nature of rent in arrear.”
6. The Land Grant of the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land stipulates that “the said Lessee in carrying out any works of excavation on the said piece or parcel of ground will not deposit thereon or on Crown land adjoining any excavated earth in such a manner as shall expose the slopes of such excavated earth to be eroded and washed down by the rains and will properly turf and if necessary secure in place by means of masonry toe walls all such slopes.”
7. General Condition No. 10 of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 of the Land stipulates that “no sewage or refuse water will be allowed to flow from the Lot on to any of the adjoining lands whether belonging to the Crown or to private persons; neither shall any decaying noisome, noxious, excrementitious, or other refuse matter be deposited on any portion of the Lot, and in carrying out any works of excavation on the Lot no excavated earth shall be deposited on the Lot or (with permission) on Crown Land adjoining, in such manner as shall expose the slopes of such excavated earth to be eroded and washed down by the rains, and all such slopes shall be properly turfed and, if necessary, secured in place by means of masonry toe walls. The Lessee shall see that all refuse matters are properly removed daily from off the premises.”
8. General Condition No. 13 of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 of the Land stipulates that “any scavenging lanes formed to be handed over to the Government free of cost”.
9. Special Condition No. (1) of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 of the Land stipulates that “the whole of the areas colored red and green on plan shall be formed by the lessee at his own expense to such levels as the Director of Public Works may approve and shall construct for the protection of such reclaimed area a rubble mound faced with a pitched slope set in cement mortar and bedded in cement concrete. The whole of the work to be carried out to the complete satisfaction of the Director of Public Works. The area colored green to be handed over to Government free of cost on completion.”
10. Special Condition No. (2) of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 of the Land stipulates that “the lessee will not be allowed to utilize the areas colored green for the purpose of storage or for the erection of any temporary buildings without the consent of the Director of Public Works first having been obtained.”
11. The Land Grant of Section B of Aplichau Marine Lot No.1, Section A of Aplichau Marine Lot No.2, Section B of Aplichau Marine Lot No.2, the Remaining Portion of Aplichau Marine Lot No.2, the Remaining Portion of Section A of Aplichau Marine Lot No.27 and Sub-section 1 of Section A of Aplichau Marine Lot No.27 of the Land provides that “His said Majesty, His Heirs, Successors and Assigns, shall have full power to resume, enter into, and re-take possession of all or any part of the premises hereby expressed to be demised, if required for the improvement of the said Colony of Hong Kong or for any other public purpose whatsoever, three calendar months’ notice being given to the said Lessee his Executors, Administrators, and Assigns of its being so required, and a full and fair Compensation for the said Land and the Buildings thereon, being paid to the said Lessee his Executors, Administrators, or Assigns, at a valuation, to be fairly and impartially made by the Surveyor of His said Majesty His Heirs, Successors, or Assigns, and upon the exercise of such power the term and estate hereby created shall respectively cease, determine and be void.”

## 15 SUMMARY OF LAND GRANT 批地文件的摘要

1. 發展項目興建於鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第26號A段、鴨脷洲海旁地段第26號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段 (統稱「發展地段」)。
2. (i) 兩份屬於「發展地段」內鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段及鴨脷洲海旁地段第2號餘段的「政府租契」所規定的年期均由1925年6月11日計起75年，並可再續期75年。  
(ii) 一份屬於「發展地段」內鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的「政府租契」所規定的年期由1926年7月29日計起75年，並可再續期75年。  
(iii) 一份屬於「發展地段」內鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的「換地條件第UB2058號」所規定的年期由1925年6月18日計起75年，並可再續期75年。
3. 「發展地段」內鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的批地文件規定，如非事前獲得「政府」的許可，上述地段不得被用作經營或從事銅工、屠宰、肥皂製造、製糖、獸皮、溶脂、油料、售肉、釀酒、食物供應或旅館、打鐵、淘糞、垃圾清理的行業或業務，或經營或從事任何其他發出高噪音、惡臭或令人厭惡之行業或業務。根據兩封日期為2014年7月18日及2014年10月21日並登記於土地註冊處註冊摘要編號分別為14073100960010及14103000790022的信函，政府經已批准許可予「發展地段」之註冊業主（包括其繼承人及受讓人）在「發展地段」上經營或從事製糖、油料（加油站除外）、售肉、食物供應及旅館的行業或業務。
4. 「發展地段」內鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的批地文件規定：「此後不時及無論何時在每當有需要時或情況要求時，須自費妥善地及充分地修葺、維持、支持、保養、鋪飾、清洗、洗滌、潔淨、卸空、修改及保存現時或嗣後任何時間建於在本文所述予以批租的該片或該幅土地上之宅院或物業單位及所有其他任何豎設物及建築物，以及所有屬於該片或該幅土地及以任何形式從屬於或關連該處的牆、堤岸、路塹、籬笆、溝渠、路軌、電燈、行人道、水廁、洗滌槽、排水渠及水道，並且全面執行需要及必須的修葺、清洗及修改工程，以達致令陛下、其繼承人或受讓人的測量師滿意為止。於該租期完結或提前終止時，該宅院或物業單位、豎設物、建築物及處所須以良好及充分維修的狀態平安及安靜地交付予陛下、其繼承人或受讓人。」
5. 「發展地段」內鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的批地文件規定承租人「須於本文協定的批租年期內按需要承擔、支付及撥出以合理份數和比例計算的費用及收費，以支付建造、建築、修理及修改在本文所述予以批租的該處所或該處所任何部分必須的所有或任何道路、行人路、渠道、柵欄及共用牆、排氣管、私家或公共污水渠及排水渠，或該出租的處所與鄰近或毗鄰處所共用的部分。有關的付款比例由陛下、其繼承人或受讓人的測量師釐定及確定，並可當作欠繳地租的性質追討。」
6. 「發展地段」內鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的批地文件規定：「當承租人於該片或該幅土地上進行任何挖掘工程時，不得將任何挖出的泥土棄置在該地段或棄置在毗連該地段的官地上，而該棄置方式會使被挖出的泥土斜坡暴露，令其被雨水侵蝕或沖走。承租人須將所有該等斜坡妥為植草。如有需要，須將該斜坡以石砌坡腳牆加以鞏固。」
7. 「發展地段」內鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號一般條款第10條規定：「不得讓污水或廢水從該地段流進任何不論屬於官方或私人的毗連土地：須確保不讓任何腐壞、發出惡臭、有毒的物質、排泄物或其他廢物棄置在該地段上，以及在該地段任何部分進行挖掘工程時，不得將任何挖出的泥土棄置在該地段上或(獲准許)毗連的官地上，而該棄置方式會使被挖出的泥土之斜坡暴露，令其被雨水侵蝕或沖走。承租人須將所有該等斜坡妥為植草。及如有需要，須將該斜坡以石砌坡腳牆加以鞏固。承租人亦須確保每日把所有廢物移離該處所。」
8. 「發展地段」內鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號一般條款第13條規定：「以任何形式形成的後巷須無償交予政府」。
9. 「發展地段」內鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號特別條款第(1)條規定：「承租人須自費建造在圖則上以紅色及綠色顯示的整個範圍以達至工務司批准的水平，並須為保護該填海區而用水泥沙漿黏砌並混有水泥混凝土建造，再以碎石堆鋪面的斜尖斜坡。整個工程須達至令工務司滿意為止。工程完成後，圖則上以綠色顯示的範圍須無償交予政府」。
10. 「發展地段」內鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號特別條款第(2)條規定：「如沒有事先取得工務司的同意，承租人不得使用該地段以綠色顯示的範圍作儲存或建立任何臨時建築物之用」。
11. 「發展地段」內鴨脷洲海旁地段第1號B段、鴨脷洲海旁地段第2號A段、鴨脷洲海旁地段第2號B段、鴨脷洲海旁地段第2號餘段、鴨脷洲海旁地段第27號A段餘段及鴨脷洲海旁地段第27號A段第1分段的批地文件規定：「如因應改善香港殖民地，或不論任何其他公共目的所需，陛下、其繼承人及受讓人可全權向承租人、其遺囑執行人、遺產執行人及由其所要求的受讓人發出三個公曆月的通知，並且根據陛下、其繼承人或受讓人的測量師公平客觀地估值該地段及在其上面建築物，並向承租人、其遺囑執行人、遺產執行人或受讓人作出全面合理的賠償，從而收回、進入及再佔管在本文所述予以批租的所有土地或任何處所的部分。本項權利一旦行使，本文所訂的年期及產業權將分別終止、終結及無效」。

16

INFORMATION ON PUBLIC FACILITIES AND PUBLIC OPEN SPACES

公共設施及公眾休憩用地的資料

1. Any facilities that are required under the land grant to be constructed and provided for the Government, or for public use

Provisions of the land grant

Special Condition No. (1) of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 stipulates that “The whole of the areas colored red and green on plan shall be formed by the lessee at his own expense to such levels as the Director of Public Works may approve and shall construct for the protection of such reclaimed area a rubble mound faced with a pitched slope set in cement mortar and bedded in cement concrete. The whole of the work to be carried out to the complete satisfaction of the Director of Public Works. The area colored green to be handed over to Government free of cost on completion.”

Special Condition No. (2) of the Conditions of Exchange No.UB2058 of Section A of Aplichau Marine Lot No.26 and the Remaining Portion of Aplichau Marine Lot No.26 stipulates that “The lessee will not be allowed to utilize the areas colored green for the purpose of storage or for the erection of any temporary buildings without the consent of the Director of Public Works first having been obtained.”

2. Any facilities or open space that is required under the land grant to be managed, operated or maintained for public use at the expense of the owners of the residential properties in the development

Not applicable.

3. Any part of the land (on which the development is situated) that is dedicated to the public for the purposes of regulation 22(1) of the Building (Planning) Regulation (Cap.123 sub. leg. F)

Not applicable.

1. 根據批地文件規定須興建並提供予政府或供公眾使用的設施

「批地文件」條款

鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號特別條款第(1)條規定「承租人須自費建造在圖則上以紅色及綠色顯示的整個範圍以達至工務司批准的水平，並須為保護該填海區而用水泥沙漿黏砌並混有水泥混凝土建造，再以碎土石堆鋪面的斜尖斜坡。整個工程須達至令工務司滿意為止。工程完成後，圖則上以綠色顯示的範圍須無償交予政府。」

鴨脷洲海旁地段第26號A段及鴨脷洲海旁地段第26號餘段的換地條件第UB2058號特別條款第(2)條規定「如沒有事先取得工務司的同意，承租人不得使用該地段以綠色顯示的範圍作儲存或建立任何臨時建築物之用。」

2. 根據批地文件規定須由發展項目中的住宅物業的擁有人出資管理、營運或維持以供公眾使用的設施或休憩用地

不適用。

3. 發展項目所位於的土地中為施行《建築物(規劃)規例》（第123章，附屬法例F）第22(1)條而撥供公眾用途的任何部分

不適用。

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## 17 WARNING TO PURCHASERS

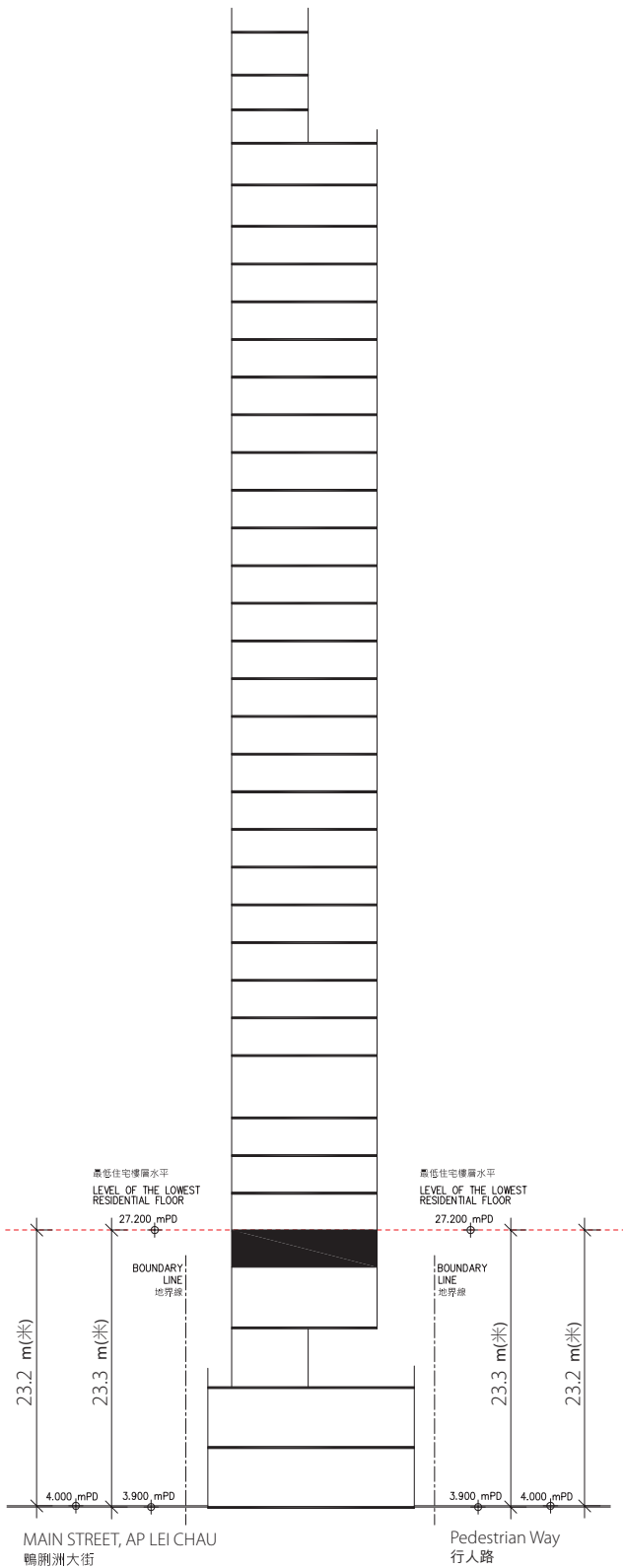
### 對買方的警告

1. You are recommended to instruct a separate firm of solicitors (other than that acting for the owner) to act for you in relation to the transaction.
  2. If you instruct such separate firm of solicitors to act for you in relation to the transaction, that firm will be able to give independent advice to you.
  3. If you instruct the firm of solicitors acting for the owner to act for you as well, and a conflict of interest arises between the owner and you: -
    - (i) that firm may not be able to protect your interests; and
    - (ii) you may have to instruct a separate firm of solicitors.
  4. In the case of paragraph 3 (ii), the total solicitors' fees payable by you may be higher than the fees that would have been payable if you had instructed a separate firm of solicitors in the first place.
1. 此提示建議你聘用一間獨立的律師事務所(代表擁有人行事者除外)，以在交易中代表你行事。
  2. 如你聘用上述的獨立的律師事務所，以在交易中代表你行事，該律師事務所將會能夠向你提供獨立意見。
  3. 如你聘用代表擁有人行事的律師事務所同時代表你行事，而擁有人與你之間出現利益衝突：-
    - (i) 該律師事務所可能不能夠保障你的利益；及
    - (ii) 你可能要聘用一間獨立的律師事務所。
  4. 如屬3(ii)段的情況，你須支付的律師費用總數，可能高於如你自一開始即聘用一間獨立的律師事務所須支付的費用。

18

CROSS-SECTION PLAN OF BUILDING IN THE DEVELOPMENT  
發展項目中的建築物的橫截面圖

CROSS-SECTION PLAN A-A  
橫截面圖 A-A

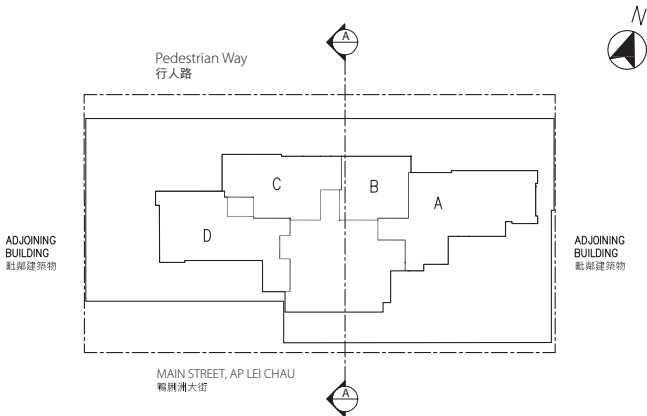


	UPPER ROOF	高層天台
	WATER TANK ROOM	水缸泵房
	LIFT MACHINE ROOM	升降機房
	ROOF	天台
35/F	RESIDENTIAL UNIT	住宅單位
33/F	RESIDENTIAL UNIT	住宅單位
32/F	RESIDENTIAL UNIT	住宅單位
31/F	RESIDENTIAL UNIT	住宅單位
30/F	RESIDENTIAL UNIT	住宅單位
29/F	RESIDENTIAL UNIT	住宅單位
28/F	RESIDENTIAL UNIT	住宅單位
27/F	RESIDENTIAL UNIT	住宅單位
26/F	RESIDENTIAL UNIT	住宅單位
25/F	RESIDENTIAL UNIT	住宅單位
23/F	RESIDENTIAL UNIT	住宅單位
22/F	RESIDENTIAL UNIT	住宅單位
21/F	RESIDENTIAL UNIT	住宅單位
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11/F	RESIDENTIAL UNIT	住宅單位
10/F	RESIDENTIAL UNIT	住宅單位
9/F	RESIDENTIAL UNIT	住宅單位
8/F	RESIDENTIAL UNIT	住宅單位
7/F	REFUGE FLOOR	庇護層
6/F	RESIDENTIAL UNIT	住宅單位
5/F	RESIDENTIAL UNIT	住宅單位
3/F	RESIDENTIAL UNIT	住宅單位
	TRANSFER PLATE	結構轉接層
2/F	CLUB HOUSE	住客會所
1/F	LANDSCAPE AREA	園景 / 平台
M/F	E&M FLOOR	機電樓層
G/F	SHOPS / ENTRANCE HALL	商舖 / 入口大堂

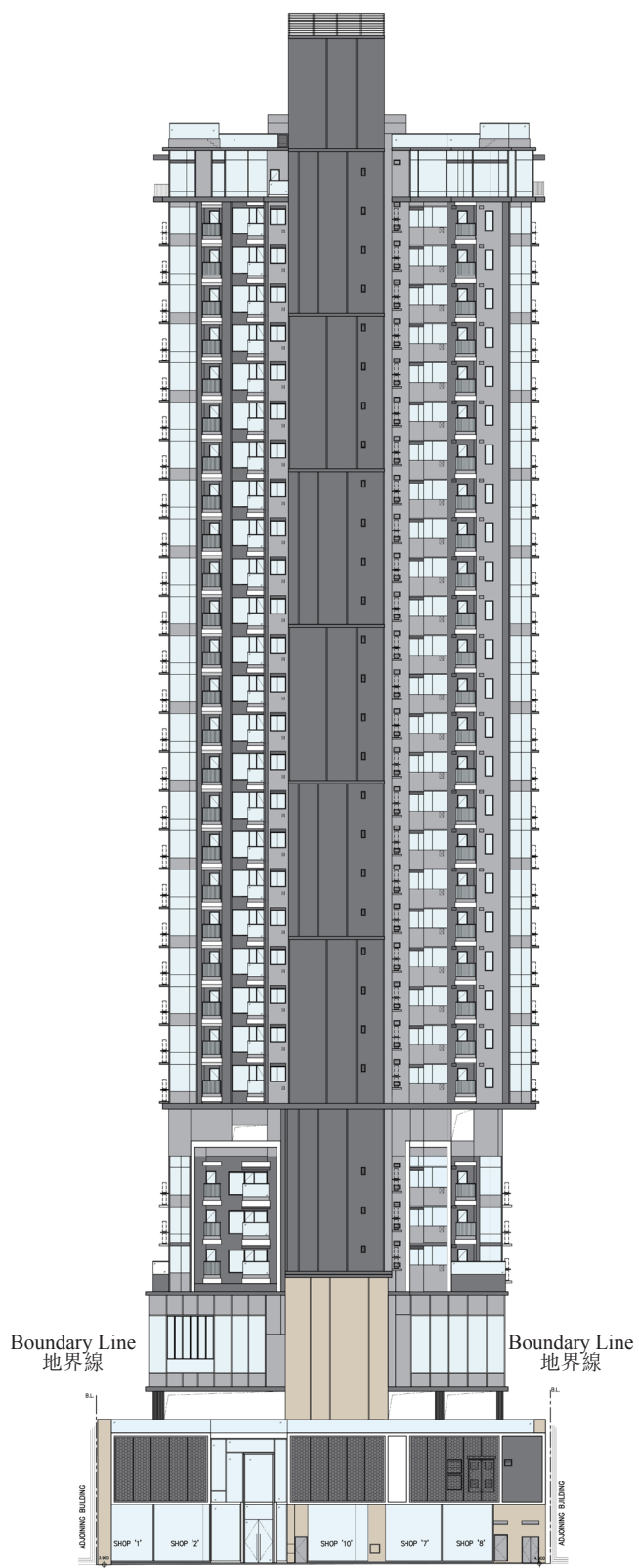
The part of Main Street, Ap Lei Chau adjacent to the building is 3.900 metres to 4.000 metres above the Hong Kong Principal Datum.  
毗連建築物的一段鴨洲大街為香港主水平基準以上3.900米至4.000米。

The part of Pedestrian Way adjacent to the building is 3.900 metres to 4.000 metres above the Hong Kong Principal Datum.  
毗連建築物的一段行人路為香港主水平基準以上3.900米至4.000米。

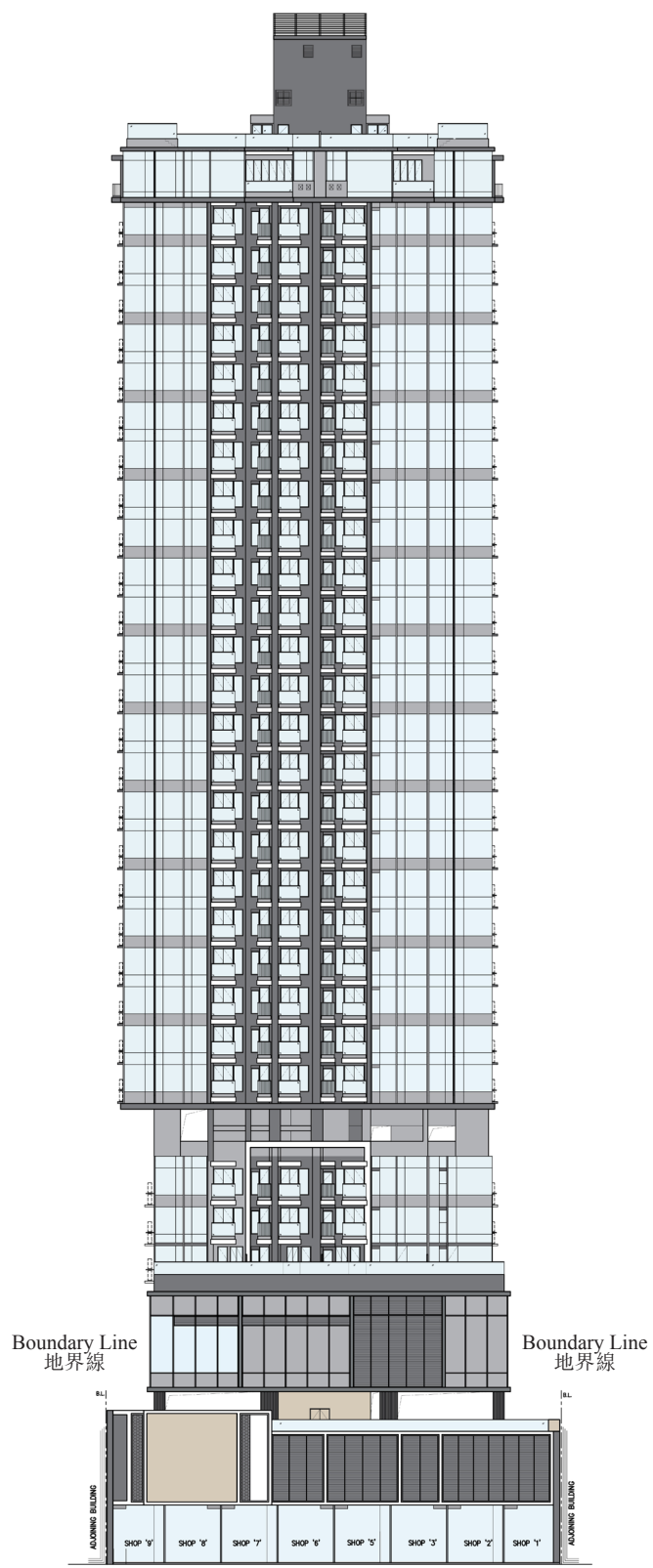
Red dotted line denotes the level of the lowest residential floor.  
紅色虛線為最低住宅樓層水平。



## 19 ELEVATION PLAN 立面圖



SOUTH-EAST ELEVATION  
東南立面圖



NORTH-WEST ELEVATION  
西北立面圖

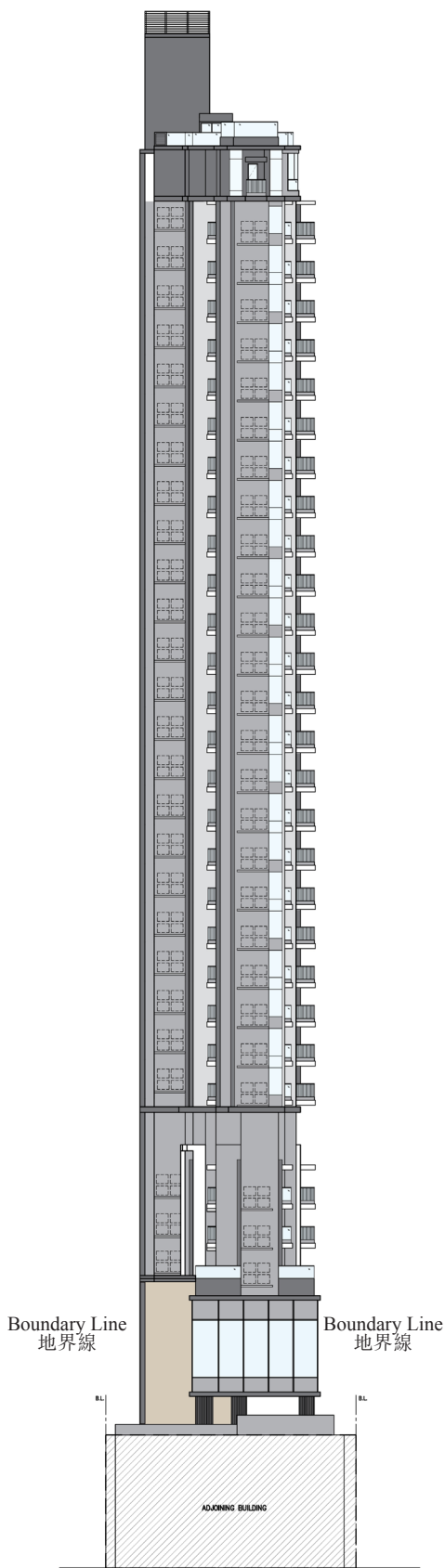
Authorized Person for the development certified that the elevations shown on these elevation plans:

1. are prepared on the basis of the approved building plans for the development as of 30 October 2014; and
2. are in general accordance with the outward appearance of the development.

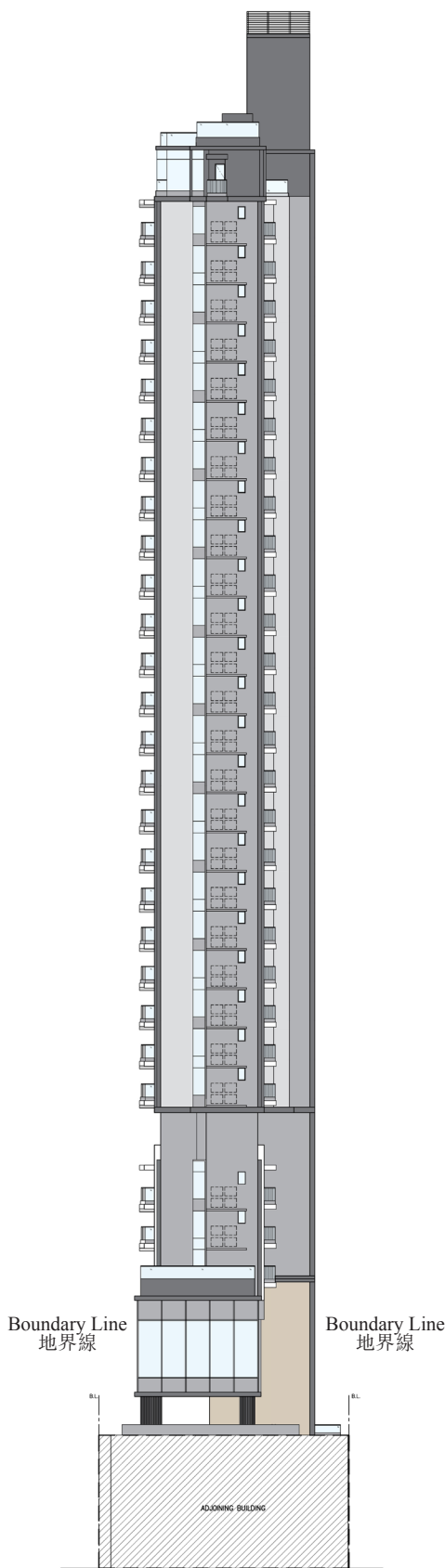
發展項目的認可人士證明本立面圖所顯示的立面：

1. 以2014年10月30日的情況為準的本項目的經批准的建築圖則為基礎擬備；及
2. 大致上與本項目的外觀一致。

19 ELEVATION PLAN  
立面圖



NORTH-EAST ELEVATION  
東北立面圖



SOUTH-WEST ELEVATION  
西南立面圖

Authorized Person for the development certified that the elevations shown on these elevation plans:

- 1. are prepared on the basis of the approved building plans for the development as of 30 October 2014; and
- 2. are in general accordance with the outward appearance of the development.

發展項目的認可人士證明本立面圖所顯示的立面：

- 1. 以2014年10月30日的情況為準的本項目的經批准的建築圖則為基礎擬備；及
- 2. 大致上與本項目的外觀一致。

20

INFORMATION ON COMMON FACILITIES IN THE DEVELOPMENT  
發展項目中的公用設施的資料

Common Facilities 公用設施	Location 位置	Covered area 有上蓋遮蓋面積	Uncovered area 沒有上蓋遮蓋面積
Residents' clubhouse (including any recreational facilities for residents' use) 住客會所（包括供住客使用的任何康樂設施）	2/F 2樓	282.101 sq. metre 平方米 3,037 sq. ft. 平方呎	-
Landscape area (communal garden for residents' use) 園景區（供住客使用的公用花園）	1/F 1樓	346.881 sq. metre 平方米 3,734 sq. ft. 平方呎	234.827 sq. metre 平方米 2,528 sq. ft. 平方呎

Note : Areas in square feet are converted at a rate of 1 square metre to 10.764 square feet and rounded to the nearest integer.  
備註：以平方呎顯示之面積均依據1平方米=10.764平方呎換算，並四捨五入至整數。

21

INSPECTION OF PLANS AND DEED OF MUTUAL COVENANT  
閱覽圖則及公契

1. A copy of the outline zoning plan relating to the development is available for inspection at [www.ozp.tpb.gov.hk](http://www.ozp.tpb.gov.hk).

2. (a) Copies of the following document are available for inspection at the place at which the residential property is offered to be sold -  
  
the latest draft of every deed of mutual covenant in respect of the residential property as at the date on which the residential property is offered to be sold.  
  
(b) The inspection is free of charge.
1. 備有關於本發展項目的分區計劃大綱圖的文本供閱覽的互聯網網站的網址為 [www.ozp.tpb.gov.hk](http://www.ozp.tpb.gov.hk)。

2. (a) 以下文件的文本存放在發售有關住宅物業的售樓處，以供閱覽 -  
  
本住宅物業的每一公契在將本住宅物業提供出售的日期的最新擬稿。  
  
(b) 無須為閱覽付費。

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

1. EXTERIOR FINISHES

a.	External wall	Type of finishes	External wall of residential tower and podium are finished with curtain wall system, wall tiles, aluminium cladding and natural stone.
b.	Window	Material of frame	Aluminium window frames
		Material of glass	Grey tinted glass
c.	Bay window	Material of bay window	Not applicable
		Finishes of window sill	Not applicable
d.	Planter	Type of finishes	Planters at podium are finished with natural stone and external wall tiles
e.	Verandah or balcony	Type of finishes	Balcony:      Fitted with glass balustrade Wall:          External wall tiles and aluminium cladding (For Flat B, C and D on 3/F - 6/F, Flat A and B on 35/F) Floor:        Floor tiles and composite timber deck Ceiling:      Aluminium panel
		Whether it is covered	Balcony is covered
		Verandah	Nil
f.	Drying facilities for clothing	Type	Not applicable
		Material	Not applicable

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

2. INTERIOR FINISHES

			Wall	Floor	Ceiling	
a.	Lobby	G/F residential entrance and lift lobby finishes	Natural stone, metal panel, timber veneered panel and glass to exposed surface	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint, timber veneered false ceiling and metal panels false ceiling	
		Lift lobby finishes (35/F)	Natural stone, metal panel, timber veneered panel and glass to exposed surface	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint, timber veneered false ceiling and metal panels false ceiling	
		Lift lobby finishes (3/F-33/F)	Metal panel, timber veneered panel and glass to exposed surface	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint, timber veneered false ceiling and metal panels false ceiling	
			Wall	Ceiling		
b.	Internal wall and ceiling	Living room finishes	Emulsion paint to exposed surface	Emulsion paint to exposed surface.		
		Dining room finishes	Emulsion paint to exposed surface; partly timber veneered panel to exposed surface in Flats A of 3/F-33/F	Emulsion paint to exposed surface.		
		Bedroom finishes	Emulsion paint to exposed surface	Emulsion paint to exposed surface.		
			Floor	Skirting		
c.	Internal floor	Material for living room	Engineered timber floor and natural stone	Timber skirting		
		Material for dining room	Engineered timber floor	Timber skirting		
		Material for bedroom	Engineered timber floor	Timber skirting		
			Wall	Floor	Ceiling	
d.	Bathroom	Type of finishes (35/F)	Natural stone to exposed surface	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint	
		Whether the wall finishes run up to ceiling	Up to the level of gypsum board false ceiling			
		Type of finishes (3/F - 33/F)	Ceramic tiles to exposed surface	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint	
		Whether the wall finishes run up to ceiling	Up to the level of gypsum board false ceiling			
			Wall	Floor	Ceiling	Cooking Bench
e.	Kitchen	Type of finishes (35/F)	Natural stone and stainless steel to the exposed surface with metal skirting	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint	Solid-surfacing material countertop
		Whether the wall finishes run up to ceiling	Up to the level of gypsum board false ceiling			
		Type of finishes (3/F - 33/F)	Glass to the exposed surfaces with metal skirting	Natural stone to exposed surface	Gypsum board false ceiling with emulsion paint	Solid-surfacing material countertop
		Whether the wall finishes run up to ceiling	Up to the level of gypsum board false ceiling			

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

3. INTERIOR FITTINGS

			Material	Finishes	Accessories
a.	Doors	Main entrance door	Fire-rated solid core timber door and door frame	Timber veneered	Eye viewer, door closer, finger print lockset and door stopper
		Balcony door	Aluminium door frame with grey tinted glass		Door Lock
		Utility platform door	Aluminium door frame with grey tinted glass		Door Lock
		Flat roof door	Aluminium door frame with grey tinted glass		Door Lock
		Bedroom door	Hollow core timber door and door frame	Timber veneered	Lockset and door stopper
		Bathroom door (35/F)	Hollow core timber door and door frame	Timber veneered and metal fin	Lockset and door stopper; bathroom door at bedroom 4 fitted with ventilation panel (For bedroom 4 of Flat A)
		Master bathroom door in Flats A (8/F-33/F)	Hollow core timber door and door frame	Timber veneered and metal fin	Sliding door parts and fitted with lockset
		Bathroom door (3/F-33/F) (except master bathroom door in Flats A on 8/F-33/F)	Hollow core timber door and door frame	Timber veneered	Lockset and door stopper; bathroom doors fitted with ventilation panel (For flats B and C on 3/F-33/F only)
		Kitchen door (35/F)	Glass door with timber door frame	Timber veneered with glass	Sliding door parts
		Kitchen door (Flats A, C and D on 3/F -33/F)	Fire-rated solid core timber door and door frame	Timber veneered with glass	Lockset, door stopper and door closer
		Store room door (35/F)	Glass door with metal frame	Metal fin with glass	Sliding door parts and fitted with lockset
		Store room door in Flat A (3/F -33/F)	Glass door with metal frame	Metal fin with glass	Sliding door parts and fitted with lockset
		Store room lavatory door (35/F)	Glass door with metal frame	Metal fin with glass	Sliding door parts and fitted with lockset with ventilation panel

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. INTERIOR FITTINGS

		Description	Fittings & equipments	Type	Material
b.	Bathroom	(i) Type and material of fittings and equipment (3/F-35/F)	Cabinet	Countertop	Solid surfacing material countertop
				Cabinet	Timber basin cabinet and mirror cabinet
			Bathroom fittings	Paper holder	Chrome plated
				Mirror	Mirror cabinet with metal frame
				Towel rack	Chrome plated
				Bath tub mixer (Flat D on 3/F, 5F-6/F and 12/F; Flat A Master bathroom on 8/F-35/F; Flat B Master bathroom on 35/F)	Chrome plated
				Wash basin mixer	Chrome plated
				Shower Set (except Flat D on 3/F, 5/F-6/F and 12/F; Flat A Master bathroom on 8/F-35/F; Flat B Master bathroom on 35/F)	Chrome plated
				Shower Cubical (except Flat D on 3/F, 5/F-6/F and 12/F; Flat A Master bathroom on 8/F-35/F; Flat B Master bathroom on 35/F)	Walk-in shower with glass door
				Wash basin and water closet	Enamel
		Bathroom appliances	For the appliances provision and brand name, please refer to the "Appliances Schedule"		
		(ii) Type and material of water supply system	Cold water supply	Copper water pipes are provided for cold water supply.	
			Hot water supply	Copper water pipes with thermal insulation are provided for hot water supply.	
		(iii) Type and material of bathing facilities (including shower or bath tub, if applicable)	Shower	Shower set	Chrome plated
			Bathtub	Bathtub	Enamelled press steel
	(iv) Size of bath tub, if applicable			1300mm (L) X 700mm (W) X 380mm (H)	

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

3. INTERIOR FITTINGS

		(3/F-33/F)	Material	
c.	Kitchen	(i) Sink unit	Stainless steel sink unit	
		(ii) Water supply system	Copper water pipes are provided for cold water supply and copper water pipes with thermal insulation are provided for hot water supply.	
			Material	Finishes
		(iii) Kitchen cabinet	Timber cabinet with acrylic door panel	Gloss acrylic finish and plastic laminate in wood pattern
		(iv) Type of all other fittings and equipment	Other fittings	Chrome plated faucet for hot and cold water
			Other equipment	For the appliances provision and brand name, please refer to the "Appliances Schedule"
		(35/F)	Material	
		(i) Sink unit	Stainless steel sink unit	
		(ii) Water supply system	Copper water pipes are provided for cold water supply and copper water pipes with thermal insulation are provided for hot water supply.	
			Material	Finishes
		(iii) Kitchen cabinet	Timber cabinet with acrylic door panel	High gloss acrylic finish and plastic laminate in wood pattern
		(iv) Type of all other fittings and equipment	Other fittings	Chrome plated faucet for hot and cold water
			Other equipment	For the appliances provision and brand name, please refer to the "Appliances Schedule"

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. INTERIOR FITTINGS

		Description	Fitting	Type	Material
d.	Bedroom	Fittings (including built-in wardrobe)	Built-in Wardrobe	Not applicable	Not applicable
			Other fittings	Not applicable	Not applicable
e.	Telephone	Location and number of connection points	Please refer to the "Schedule for Electrical & Mechanical Provisions"		
f.	Aerials	Location and number of connection points	Please refer to the "Schedule for Electrical & Mechanical Provisions"		
g.	Electrical installations	(i) Electrical fittings (including safety devices)	Electrical fittings	Faceplate for all switches and power sockets	
			Safety devices	a. Single phase electricity supply (for Flats A and C on 3/F, 5/F-6/F, Flats A, C and D on 8/F-33F) with miniature circuit breaker distribution board.	
				b. Three phases electricity supply (for Flats B and D on 3/F, 5/F-6/F, Flats B on 8/F-33/F, Flats A and B on 35/F) with miniature circuit breaker distribution board.	
		(ii) Whether conduits are concealed or exposed	Conduits are partly concealed and partly exposed <sup>1</sup>		
		(iii) Location and number of power points and air-conditioner points	Please refer to the "Schedule for Electrical & Mechanical Provisions"		
h.	Gas supply	Type	Town Gas (Flats A and C on 3/F, 5/F - 6/F, Flats A, C, D 8/F - 33/F and Flats A and B on 35/F)		
		System	Gas supply pipe is provided and connected to gas hob for 3/F, 5/F-6/F Flats A and C, 8/F-33/F Flats A, C, D and 35/F Flats A and B (except 12/F Flat D) and gas water heater for 3/F, 5/F-6/F Flats A and C, 8/F-33/F Flats A, C, D and 35/F Flats A and B		
		Location	For the location of gas hob and gas water heater, please refer to the "Appliances Schedule"		
i.	Washing machine connection point	Location	Please refer to the "Schedule for Electrical & Mechanical Provisions"		
		Design	Drain point and water point are provided for washing machine		
j.	Water supply	Material of water pipes	Copper water pipes are provided for cold water supply and copper water pipes with thermal insulation are provided for hot water supply.		
		Whether water pipes are concealed or exposed	Both hot and cold water pipes are partly concealed and partly exposed <sup>2</sup>		
		Whether hot water is available	Hot water supply system is provided to kitchen and bathroom		

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

4. MISCELLANEOUS

				Residential Lift	
a.	Lifts	(i) Brand name and model number	Brand name	Toshiba	
			Model number	ELCOSMO CV320	
		(ii) Number and floors served by them	Number of lifts	2	
			Floors served by the lifts	Lift No. 1 : G/F to 35/F Lift No. 2 : G/F to 6/F, 8/F to 35/F	
b.	Letter box	Material	Stainless steel		
c.	Refuse collection	(i) Means of refuse collection	Refuse collected by cleaners		
		(ii) Location of refuse room	Refuse Storage and Material Recovery Room is provided in the common area on each residential floor. Central Refuse Storage and Material Recovery Chamber is provided on G/F		
			Water meter	Electricity meter	Gas meter
d.	Water meter, electricity meter and gas meter	(i) Location	Common meter room on each floor	Common meter room on each floor	Flats A and C on 3/F, 5/F-6/F, Flat A, C, D on 8/F-33/F and Flat A, B on 35/F. (Kitchen and Open Kitchen)
		(ii) Whether they are separate or communal meters for residential propertis	Separate meter	Separate meter	Separate meter

5. SECURITY FACILITIES

Security system and equipment	Access control & security system	Visitor panel with smart card access reader and security control door are provided at the Residential Entrance of G/F. Video door phone with panic alarm connecting to caretaker's counter is provided for all residential units.
	CCTV	CCTV system is provided at residential entrance lobby, podium lobby, lift car, clubhouse and podium garden. CCTV is connecting to the caretaker's counter.
Details of built-in provisions	7-inch portable tablet for video doorphone connecting to the caretaker's counter at the residential entrance lobby	
Location of built-in provisions	Living Room and Dining Room	

The vendor undertakes that if lifts or appliances of the specified brand name or model number are not installed in the development, lifts or appliances of comparable quality will be installed.

- Remarks:
1.

Other than those parts of the conduits concealed within concrete, the rest of them are exposed. The exposed conduits may be covered or hidden by false ceilings, bulkheads, cabinets, claddings, non-concrete partition walls designated pipe ducts or other materials.
2.

Other than those parts of the water pipes concealed with concrete, the rest of them are exposed. The exposed water pipes may be covered or hidden by false ceilings, bulkheads, cabinets, claddings, non-concrete partition walls, designated pipe ducts or other materials.

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

6. APPLIANCES SCHEDULE (3/F - 33/F)

Location	Appliances	Flats apply	Brand	Model No. (if any)	
				Indoor Unit	Outdoor Unit
Living Room and Dining Room	Split type air-conditioner	Flat A	Toshiba	RAS-24SKP-ES	RAS-24SA-ES
	Split type air-conditioner	Flat B and C	Toshiba	RAS-18SKP-ES	RAS-18SA-ES
	Split type air-conditioner	Flat D (3/F, 5/F-6/F)	Toshiba	RAS-13SKP-ES2	RAS-13SA-ES2
	Split type air-conditioner	Flat D (8/F-33/F)	Toshiba	RAS-24SKP-ES	RAS-24SA-ES
Bedroom	Multi split type air-conditioner	Flat C	Toshiba	RAS-M10N3KCV (HK)	RAS-18GACV-E
	Split type air-conditioner	Flat A Master Bedroom 1 (8/F-33/F)	Toshiba	RAS-13SKP-ES2	RAS-13SA-ES2
	Split type air-conditioner	Flat A Bedroom 1 and Bedroom 2 (3/F, 5/F-6/F) Flat A Bedroom 2 and Bedroom 3 (8/F-33/F) Flat B and D	Toshiba	RAS-10SKP-ES	RAS-10SA-ES

Location	Appliances	Flats apply	Brand	Model No. (if any)
Living Room and Dining Room	HA Pad	For all flats	Samsung	Galaxy Tab4
Kitchen	Gas hob (3 burners)	Flat A, C (3/F-6/F) Flat A, C, D (8/F-33/F) (except Flat D, 12/F)	Miele	KM3014
	Induction cooker (2 rings)	Flat B and D (3/F-6/F) Flat B (8/F-33/F) Flat D (12/F)	Miele	CS1212-1i
	Cooker Hood	For all flats	Siemens	LI46631GB
	Microwave oven	For all flats	Siemens	HF15M564HK
	Washer and dryer	Flat A, B, C and D (3/F-6/F) Flat A, B, C (8/F-33/F) Flat D (12/F)	Siemens	WK14D320GB
		Flat D 8/F-33/F (except Flat D (12/F))	Siemens	WD14D365HK
	Refrigerator	Flat B, C and D (3/F-6/F) Flat B, C and D (8/F-33/F)	Siemens	KU15RA65 GU15DA55
		Flat A (3/F, 6/F) Flat A (8/F-33/F)	Siemens	KI38VA00HK
	Gas water heater	Flat A and C (3/F, 5/F-6/F)	TGC	TRJW161TFQL
		Flat A (8/F-33/F)	TGC	TRJW221TFQL
		Flat C and D (8/F-33/F)	TGC	TRJW161TFQL
	Electric water heaters	Flat B and D (3/F, 5/F-6/F) Flat B (8/F-33/F)	Stiebel Eltron	HHM6
	Exhaust fan	Flat A, C and D	Rosenberg	Z200U
Bathroom	Electric water heater	Flat B and D (3/F, 5/F-6/F) Flat B (8/F-33/F)	Stiebel Eltron	HDB-E21Si
	Exhaust fan	For all flats	Rosenberg	Z200U

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

6. APPLIANCES SCHEDULE (35/F)

Location	Appliances	Flats apply	Brand	Model No. (if any)	
				Indoor Unit	Outdoor Unit
Living Room and Dining Room	HA Pad	For all flats	Samsung	Galaxy Tab4	
	VRV	For all flats	Toshiba	MMK-AP0243H	MAP0501HT
Bedroom	VRV	Flat A Bedroom 2 and Bedroom 3, Flat B Bedroom 2, Bedroom 3 and Bedroom 4	Toshiba	MMK-AP0093H	
		Flat A and B Master Bedroom 1 Flat A Bedroom 4	Toshiba	MMK-AP0123H	
Kitchen	Gas wok hob	For all flats	Miele	CS1018	
	Double gas hob	For all flats	Miele	CS1013-1	
	Barbecue grill	For all flats	Miele	CS1312 BG	
	Cooker hood	For all flats	Miele	DA429-6	
	Microwave oven	For all flats	Miele	M6032	
	Oven	For all flats	Miele	H6461B	
	Steam-oven	For all flats	Miele	DG6200	
	Refrigerator	For all flats	Miele	KFNS 37432 iD	
	Washer and Dryer	For all flats	Miele	WT 2789 i WPM	
	Coffee machine	For all flats	Miele	CVA 6401	
	Gas water heater	For all flats	TGC	TRJW221TFQL	
	Wine cellar	For all flats	Miele	KWT6321 UG	
	Exhaust fan	For all flats	Rosenberg	Z200 U	
	Kitchen LCD TV	For all flats	JSA	KTV 102A	
	Bathroom	Gas water heater	Flat A	TGC	TRJW 221 TFQL
Flat B			TGC	TRJW 161 TFQL and TRJW 221 TFQL	
Exhaust fan		For all flats	Rosenberg	Z200 U	
Bathroom LCD TV		For all flats	JSA	TMBG10 with speaker OBT-903	

The vendor undertakes that if lifts or appliances of the specified brand name or model number are not installed in the development, lifts or appliances of comparable quality will be installed.

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

1. 外部裝修物料

a.	外牆	裝修物料的類型	大廈住宅樓層及平台主要鋪砌玻璃幕牆、鋁飾板，外牆磚及天然石材。
b.	窗	框的用料	鋁窗框
		玻璃的用料	灰面玻璃
c.	窗台	用料	不適用
		窗台板的裝修物料	不適用
d.	花槽	裝修物料的類型	花槽外鋪砌天然石及外牆磚
e.	陽台或露台	裝修物料的類型	露台： 裝有灰色夾膠玻璃欄杆 外牆： 牆面磚及鋁飾板(只適用於3樓至6樓B，C及D室及35樓A及B室) 地板： 地磚及合成木板 天花板： 鋁飾板
		是否有蓋	露台均有蓋
		陽台	沒有
f.	乾衣設施	類型	不適用
		用料	不適用

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

2. 室內裝修物料

			牆壁	地板	天花板	
a.	大堂	地下住宅入口大堂及電梯大堂裝修物料的類型	外露牆身鋪砌天然石，金屬裝飾板，木材裝飾及玻璃飾板至假天花	天然石材至外露面	石膏板假天花髹上乳膠漆，部份位置之假天花配木皮飾面及金屬裝飾板	
		公用升降機大堂裝修物料的類型(35樓)	外露牆身鋪砌天然石，金屬裝飾板，木材裝飾及玻璃飾板至假天花	天然石材至外露面	石膏板假天花髹上乳膠漆，部份位置之假天花配木皮飾面及金屬裝飾板	
		公用升降機大堂裝修物料的類型(3樓-33樓)	外露牆身鋪砌木材裝飾、金屬飾板及玻璃飾板至假天花	天然石材至外露面	石膏板假天花髹上乳膠漆，部份位置之假天花配木皮飾面及金屬裝飾板	
			牆壁	天花板		
b.	內牆及天花板	客廳裝修物料的類型	乳膠漆至外露面	天花表面髹上乳膠漆		
		飯廳裝修物料的類型	乳膠漆至外露面；部分外露牆身鋪砌木材裝飾面(3樓-33樓A室)	天花表面髹上乳膠漆		
		睡房裝修物料的類型	乳膠漆至外露面	天花表面髹上乳膠漆		
			地板	牆腳線		
c.	內部地板	客廳的用料	複合木地板及天然石材	木腳線		
		飯廳的用料	複合木地板	木腳線		
		睡房的用料	複合木地板	木腳線		
			牆壁	地板	天花板	
d.	浴室	裝修物料的類型(35樓)	外露牆身鋪砌天然石飾面板	外露地板為天然石材	石膏板假天花，表面髹上乳膠漆	
		牆壁的裝修物料的是否鋪至天花板	裝修物料鋪至石膏板假天花			
		裝修物料的類型(3樓 - 33樓)	外露牆身鋪砌飾面瓷磚	外露地板為天然石材	石膏板假天花，表面髹上乳膠漆	
		牆壁的裝修物料的是否鋪至天花板	裝修物料鋪至石膏板假天花			
			牆壁	地板	天花板	灶台
e.	廚房	裝修物料的類型(35樓)	外露牆身鋪砌天然石材及不銹鋼裝飾板配金屬腳線	外露地板為天然石材	石膏板假天花髹上乳膠漆	無縫人造塑料
		牆壁的裝修物料的是否鋪至天花板	裝修物料鋪至石膏板假天花			
		裝修物料的類型(3樓 - 33樓)	外露牆身鋪砌玻璃飾板配金屬腳線	外露地板為天然石材	石膏板假天花髹上乳膠漆	無縫人造塑料
		牆壁的裝修物料的是否鋪至天花板	裝修物料鋪至石膏板假天花			

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. 室內裝置

			用料	裝修物料	配件
a.	門	單位大門	防火實心木門及木門框	木紋飾面	防盜眼、指紋門鎖、門鼓及門阻
		露台門	鋁門框連灰玻璃		門鎖
		工作平台門	鋁門框連灰玻璃		門鎖
		平台門	鋁門框連灰玻璃		門鎖
		睡房門	中空木門及木門框	木紋飾面	門鎖及門阻
		浴室門 (35樓)	中空木門及木門框	木紋飾面及金屬飾面	門鎖及門阻；浴室門附設通風位(只適用於A室睡房4)
		浴室門 (8樓-33樓A室主人睡房)	中空木門及木門框	木紋飾面及金屬飾面	滑動門框配件，門鎖
		浴室門 (3樓-33樓) (8樓-33樓A室主人浴室除外)	中空木門及木門框	木紋飾面	門鎖及門阻；浴室門附設通風位(只適用於3樓-33樓B及C室)
		廚房門 (35樓)	玻璃門及木飾面門框	木紋飾面連玻璃	滑動門框配件
		廚房門 (3樓-33樓A, C及D室)	防火實心木門及木門框	木紋飾面連玻璃	配門鎖、門阻及門鼓
		儲物室門 (35樓)	玻璃門及金屬門框	金屬飾面連玻璃	滑動門框配件及門鎖
		儲物室門 (3樓-33樓A室)	玻璃門及金屬門框	金屬飾面連玻璃	滑動門框配件及門鎖
		儲物室洗手間 (35樓)	玻璃門及金屬門框	金屬飾面連玻璃	滑動門框配件、門鎖及附設通風位

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. 室內裝置

		描述	裝置及設備	類型	用料
b.	浴室	(i) 裝置及設備的類型及用料 (3樓-35樓)	櫃	櫃枱面	無縫人造塑料
				櫃	木製洗手盆櫃及鏡櫃
			潔具	廁紙架	鍍鉻
				浴室鏡	金屬框鏡櫃
				毛巾棍	鍍鉻
				浴缸水龍頭 (只適用於 3樓、5樓-6樓 及12樓D室浴室; 8樓-35樓A 室主人浴室; 35樓B室主人浴室)	鍍鉻
				洗手盤水龍頭	鍍鉻
				花灑套裝 (除3樓、 5樓-6樓及12 樓D室浴室; 8樓-35樓A室主 人浴室; 35樓B室主人浴室)	鍍鉻
				企缸 (除3樓、5樓-6 樓及12樓D室 浴室; 8樓-35樓A室主 人浴室; 35樓B室主人浴室)	企缸連強化玻璃門
				洗手盤及座廁	搪瓷
			浴室設備	隨樓附送之設備及品牌，請參閱「設備說明」	
		(ii) 供水系統的類型及用料	冷水喉		冷水喉採用銅喉。
			熱水喉		熱水喉採用有隔熱絕緣銅喉。
		(iii) 沐浴設施 (包括花灑或浴缸) (如適用的話)	花灑	花灑套裝	鍍鉻
			浴缸	浴缸	搪瓷鋼板
		(iv) 浴缸大小 (如適用的話)		1300毫米 (長) x 700毫米 (闊) x 380毫米 (高)	

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. 室內裝置

		(3樓-33樓)	用料	
c.	廚房	(i) 洗滌盆	不銹鋼洗滌盆	
		(ii) 供水系統	冷水喉採用銅喉及熱水喉採用隔熱絕緣銅喉。	
			用料	裝修物料
		(iii) 廚櫃	木製櫥櫃配膠板櫥櫃門板	光澤面啞加力板面及仿木膠板面
		(iv) 所有其他裝置及設備的類型	其它裝置的類型	鍍鉻冷熱水龍頭
			設備的類型	隨樓附送之設備及品牌，請參閱「設備說明」
		(35樓)	用料	
		(i) 洗滌盆	不銹鋼洗滌盆	
		(ii) 供水系統	冷水喉採用銅喉及熱水喉採用隔熱絕緣銅喉	
			用料	裝修物料
		(iii) 廚櫃	木製櫥櫃配膠板櫥櫃門板	高光澤面啞加力板面及仿木膠板面
		(iv) 所有其他裝置及設備的類型	其它裝置的類型	鍍鉻冷熱水龍頭
			設備的類型	隨樓附送之設備及品牌，請參閱「設備說明」

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

3. 室內裝置

		裝置	設備	類型	用料
d.	睡房	裝置(包括嵌入式的衣櫃)的類型及用料	嵌入式衣櫃	不適用	不適用
			其他裝置	不適用	不適用
e.	電話	接駁點的位置及數目	請參閱「機電裝置位置及數量說明表」		
f.	天線	接駁點的位置及數目	請參閱「機電裝置位置及數量說明表」		
g.	電力裝置	(i) 供電附件 (包括安全裝置)	供電附件	提供電制及插座之面板	
			安全裝置	a. 單相電力(3樓，5樓-6樓A及C室，8樓-33樓A、C及D室)並裝妥微型斷路器	
				b. 三相電力(3樓，5樓-6樓B及D室，8樓-33樓B室，35樓A及B室)並裝妥微型斷路器	
		(ii) 導管是隱藏或外露	導管是部分隱藏及部分外露 <sup>1</sup>		
		(iii) 電插座及空調機接駁點的位置及數目	請參閱「機電裝置位置及數量說明表」		
h.	氣體供應	類型	煤氣( 3樓, 5樓-6樓A及C室 8樓-33樓A, C及D室及35樓A及B室)		
		系統	煤氣喉接駁煤氣煮食爐3樓，5樓-6樓 A及C室，8樓-33樓 A, C, D室及35樓A及B室(12樓 D室除外)及煤氣熱水爐於3樓，5樓-6樓 A及C室，8樓-33樓 A, C, D室及35樓 A及B室。		
		位置	煤氣煮食爐及煤氣熱水爐的位置請參閱「設備說明」		
i.	洗衣機接駁點	位置	請參閱「機電裝置位置及數量說明表」		
		設計	設有洗衣機來、去水接駁喉位		
j.	供水	水管的用料	冷水喉採用銅喉及熱水喉採用隔熱絕緣銅喉		
		水管是隱藏或外露	冷熱水管是部分隱藏及部分外露 <sup>2</sup>		
		有否熱水供應	廚房、浴室供應熱水		

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

4.雜項

				住宅升降機	
a.	升降機	(i) 品牌名稱及產品型號	品牌名稱	東芝	
			產品型號	ELCOSMO CV320	
		(ii) 升降機的數目及到達的樓層	升降機的數目	2部	
			到達的樓層	升降機一：地下至35樓 升降機二：地下至6樓及8樓至35樓	
b.	信箱	用料	不銹鋼		
c.	垃圾收集	(i) 垃圾收集的方法	由清潔工人定時收集垃圾		
		(ii) 垃圾房的位置	各住宅層之公用地方均設有垃圾及物料回收房，另中央垃圾收集房設於地下。		
			水錶	電錶	氣體錶
d.	水錶、電錶及氣體錶	(i) 位置	每層之公共錶房	每層之公共錶房	3樓，5樓-6樓 A，C室，8樓-33樓 A，C及D室及35樓A及B室 (廚房及開放式廚房)
		(ii) 就住宅室而言是獨立抑或公用的錶	獨立	獨立	獨立

5.保安設施

保安系統及設備	入口通道控制及保安系統	入口大堂設有訪客對講機、密碼門鎖及智能讀咭器。各住宅室均裝置視像對講機，並設有警報掣功能連接大廈保安室或地下住宅入口大堂管理處。
	閉路電視	大廈入口大堂、裙樓升降機大堂、住客會所、園景平台及各升降機均裝有閉路電視，連接大廈保安室或大堂管理處。
嵌入式裝備的細節	各住宅單位均裝置7吋輕觸式屏幕為主控台，控制視像對講系統，連接住客大堂管理處。	
嵌入式裝備的位置	客廳及飯廳	

賣方承諾如該項目中沒有安裝指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

備註：

1.

除部分隱藏於混凝土內之導管外，其他部分的導管均為外露。外露的導管可能被假天花、假陣、貯存櫃、覆面、非混凝土間牆、指定之槽位或其他物料遮蓋。

2.

除部分隱藏於混凝土內之水管外，其他部分的水管均為外露。外露的水管可能被假天花、假陣、貯存櫃、覆面、非混凝土間牆、指定之槽位或其他物料遮蓋。

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

6. 設備說明 (3樓-33樓)

位置	設備	適用單位	品牌	型號(如有)	
				室內機	室外機
客廳及飯廳	分體式冷氣機	A室	東芝	RAS-24SKP-ES	RAS-24SA-ES
	分體式冷氣機	B及C室	東芝	RAS-18SKP-ES	RAS-18SA-ES
	分體式冷氣機	D室 (3樓，5樓-6樓)	東芝	RAS-13SKP-ES2	RAS-13SA-ES2
	分體式冷氣機	D室 (8樓-33樓)	東芝	RAS-24SKP-ES	RAS-24SA-ES
睡房	多聯分體式冷氣機	C室	東芝	RAS-M10N3KCV(HK)	RAS-18GACV-E
	分體式冷氣機	A室主人睡房1 (8樓-33樓)	東芝	RAS-13SKP-ES2	RAS-13SA-ES2
	分體式冷氣機	A室睡房1及睡房2 (3樓，5樓-6樓) A室睡房2及睡房3 (8樓-33樓) B及D室	東芝	RAS-10SKP-ES	RAS-10SA-ES

位置	設備	適用單位	品牌	型號(如有)
客廳及飯廳	智能控制屏	所有室	Samsung	Galaxy Tab4
廚房	煤氣煮食爐 (三頭)	A及C室 (3樓-6樓) A，C及D室 (8樓-33樓) (12樓D室除外)	Miele	KM 3014
	電磁爐 (雙頭)	B及D室 (3樓-6樓) B室 (8樓-33樓) D室 (12樓)	Miele	CS1212-1i
	抽油煙機	所有室	西門子	LI 46631GB
	微波爐	所有室	西門子	HF15M564HK
	洗衣乾衣機	A，B, C及D室 (3樓-6樓) A，B及C室 (8樓-33樓) D室 (12樓)	西門子	WK14D320GB
		D室 (8樓-33樓) (12樓D室除外)	西門子	WD14D365HK
	雪櫃	B，C及D室 (3樓-6樓) B，C及D室 (8樓-33樓)	Siemens	KU15RA65 GU15DA55
		A室 (3樓-6樓) A室 (8樓-33樓)	Siemens	KI38VA00HK
	煤氣熱水爐	A及C室 (3樓，5樓-6樓)	TGC	TRJW161TFQL
		A室 (8樓-33樓)	TGC	TRJW221TFQL
		C及D室 (8樓-33樓)	TGC	TRJW161TFQL
	電熱水爐	B及D室 (3樓，5樓-6樓) B室 (8樓-33樓)	Stiebel Eltron	HHM6
	抽氣扇	A，C及D室	Rosenberg	Z200U
浴室	電熱水爐	B及D室 (3樓，5樓-6樓) B室 (8樓-33樓)	Stiebel Eltron	HDB-E21Si
	抽氣扇	所有室	Rosenberg	Z200U

22

FITTINGS, FINISHES AND APPLIANCES  
裝置、裝修物料及設備

6. 設備說明 (35樓)

位置	設備	適用單位	品牌	型號(如有)	
				室內機	室外機
客廳及飯廳	智能控制屏	所有室	三星	Galaxy Tab4	
	變頻多聯分體式冷氣機	所有室	東芝	MMK-AP0243H	MAP0501HT
睡房	變頻多聯分體式冷氣機	A室睡房2及睡房3 B室睡房2，睡房3及睡房4	東芝	MMK-AP0093H	
	變頻多聯分體式冷氣機	A及B室主人睡房1 A室睡房4	東芝	MMK-AP0123H	
廚房	煤氣煮食爐 (單頭)	所有室	Miele	CS1018	
	煤氣煮食爐 (雙頭)	所有室	Miele	CS1013-1	
	燒烤爐	所有室	Miele	CS1312 BG	
	抽油煙機	所有室	Miele	DA429-6	
	微波爐	所有室	Miele	M6032	
	焗爐	所有室	Miele	H6461B	
	蒸爐	所有室	Miele	DG6200	
	雪櫃	所有室	Miele	KFNS 37432 iD	
	洗衣乾衣機	所有室	Miele	WT 2789 i WPM	
	咖啡機	所有室	Miele	CVA 6401	
	煤氣熱水爐	所有室	TGC	TRJW221TFQL	
	酒櫃	所有室	Miele	KWT6321 UG	
	抽氣扇	所有室	Rosenberg	Z200U	
	廚房LCD電視機	所有室	JSA	KTV102A	
	浴室	煤氣熱水爐	A室	TGC	TRJW 221 TFQL
B室			TGC	TRJW 161 TFQL 及 TRJW 221 TFQL	
抽氣扇		所有室	Rosenberg	Z200U	
浴室LCD視機		所有室	JSA	TMBG10 連揚聲器 OBT-903	

賣方承諾如該項目中沒有安裝指明的品牌名稱或產品型號的升降機或設備，便會安裝品質相若的升降機或設備。

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

Schedule for Electrical & Mechanical Provisions for Residential Properties of 3/F

3樓住宅單位機電裝置位置及數量說明表

Location 位置	Description 描述		A	B	C	D
Living Room and Dining Room 客廳及飯廳	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	Data Outlet 數據插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		2	2	2	2
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	2
Master Bedroom 1 and Bedroom1 主人睡房1及睡房1	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Bedroom 2 睡房 2	TV/FM Outlet 電視/電台天線插座		1	-	1	1
	Telephone Outlet 電話插座		1	-	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	2	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	1	1
Bathroom 浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
Kitchen and Open Kitchen 廚房及開放式廚房	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	1	1	1	1
	Water Point 來水位	(for Washing Machine) 供洗衣機	1	1	1	1
Store Room 儲物房	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	-	-
Flat Roof 平台	Weatherproof 13A Switched Single Socket Outlet 13安培防水單頭插座連開關		1	-	-	1

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

Schedule for Electrical & Mechanical Provisions for Residential Properties of 5/F-6/F

5樓至6樓住宅單位機電裝置位置及數量說明表

Location 位置	Description 描述		A	B	C	D
Living Room and Dining Room 客廳及飯廳	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	Data Outlet 數據插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		2	2	2	2
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	2
Master Bedroom 1 and Bedroom1 主人睡房1及睡房1	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Bedroom 2 睡房 2	TV/FM Outlet 電視/電台天線插座		1	-	1	1
	Telephone Outlet 電話插座		1	-	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	2	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	1	1
Bathroom 浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
Kitchen and Open Kitchen 廚房及開放式廚房	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	1	1	1	1
	Water Point 來水位	(for Washing Machine) 供洗衣機	1	1	1	1
Store Room 儲物房	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	-	-

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

Schedule for Electrical & Mechanical Provisions for Residential Properties of 8/F-11/F, 15/F-23/F, 25/F-33/F

8樓至11樓，15樓至23樓，25樓至33樓樓住宅單位機電裝置位置及數量說明表

Location 位置	Description 描述		A	B	C	D
Living Room and Dining Room 客廳及飯廳	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	Data Outlet 數據插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		2	2	2	2
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Master Bedroom 1 and Bedroom1 主人睡房1及睡房1	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Bedroom 2 睡房 2	TV/FM Outlet 電視/電台天線插座		1	-	1	1
	Telephone Outlet 電話插座		1	-	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	2	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	1	1
Bedroom 3 睡房 3	TV/FM Outlet 電視/電台天線插座		1	-	-	1
	Telephone Outlet 電話插座		1	-	-	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	-	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	-	1
Bathroom 浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	-	-	-	1
	Water Point 來水位	(for Washing Machine) 供洗衣機	-	-	-	1
Kitchen and Open Kitchen 廚房及開放式廚房	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	1	1	1	-
	Water Point 來水位	(for Washing Machine) 供洗衣機	1	1	1	-
Store Room 儲物房	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	-	-

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

Schedule for Electrical & Mechanical Provisions for Residential Properties of 12/F  
12樓住宅單位機電裝置位置及數量說明表

Location 位置	Description 描述		A	B	C	D
Living Room and Dining Room 客廳及飯廳	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	Data Outlet 數據插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		2	2	2	2
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Master Bedroom 1 and Bedroom1 主人睡房1及睡房1	TV/FM Outlet 電視/電台天線插座		1	1	1	1
	Telephone Outlet 電話插座		1	1	1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1	1	1
Bedroom 2 睡房 2	TV/FM Outlet 電視/電台天線插座		1	-	1	1
	Telephone Outlet 電話插座		1	-	1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	2	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	1	1
Bedroom 3 睡房 3	TV/FM Outlet 電視/電台天線插座		1	-	-	1
	Telephone Outlet 電話插座		1	-	-	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	-	-	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	-	-	1
Bathroom 浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1	1	1
Kitchen and Open Kitchen 廚房及開放式廚房	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1	1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	1	1	1	1
	Water Point 來水位	(for Washing Machine) 供洗衣機	1	1	1	1
Store Room 儲物房	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	-	-	-

22

FITTINGS, FINISHES AND APPLIANCES

裝置、裝修物料及設備

Schedule for Electrical & Mechanical Provisions for Residential Properties of 35/F  
35樓住宅單位機電裝置位置及數量說明表

Location 位置	Description 描述		A	B
Living Room and Dining Room 客廳及飯廳	TV/FM Outlet 電視/電台天線插座		1	1
	Telephone Outlet 電話插座		1	1
	Data Outlet 數據插座		1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		3	3
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	2	2
Master Bedroom 1 主人睡房 1	TV/FM Outlet 電視/電台天線插座		1	1
	Telephone Outlet 電話插座		1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1
Bedroom 2 and 3 睡房 2及3	TV/FM Outlet 電視/電台天線插座		1	1
	Telephone Outlet 電話插座		1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		2	2
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1
Bedroom 4 睡房 4	TV/FM Outlet 電視/電台天線插座		1	1
	Telephone Outlet 電話插座		1	1
	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1
	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1
	1 Gang DP Switch 單位雙極開關掣	(for Indoor Unit) 供分體冷氣室內機	1	1
Bathroom in Master Bedroom 主人睡房之浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1
Bathroom 浴室	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1
Open Kitchen 開放式廚房	13A Switched Twin Socket Outlet 13安培雙頭插座連開關		1	1
	Drain Point 去水位	(for Washing Machine) 供洗衣機	1	1
	Water Point 來水位	(for Washing Machine) 供洗衣機	1	1
Store Room 儲物房	13A Switched Single Socket Outlet 13安培單頭插座連開關		1	1
Roof 天台	Weatherproof 13A Switched Single Socket Outlet 13安培防水單頭插座連開關		4	4

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## 23 SERVICE AGREEMENTS

### 服務協議

Potable and flushing water is supplied by Water Supplies Department.

Electricity is supplied by The Hongkong Electric Company Limited.

Towngas is supplied by The Hong Kong and China Gas Company Limited.

食水及沖廁水由水務署供應。

電力由香港電燈有限公司供應。

煤氣由香港中華煤氣有限公司供應。

## 24 GOVERNMENT RENT

### 地稅

The vendor (the owner) is liable for the Government rent of a residential property up to and including the date of completion of the sale and purchase of that residential property.

賣方（擁有人）有法律責任繳付住宅物業的地稅直至住宅物業買賣完成日（包括該日）為止。

## 25 MISCELLANEOUS PAYMENTS BY PURCHASER

### 買方的雜項付款

1. On the delivery of the vacant possession of the residential property to the purchaser, the purchaser is liable to reimburse the vendor (the owner) for the deposits for water, electricity and gas.
2. On that delivery, the purchaser is not liable to pay to the vendor (the owner) a debris removal fee.
3. The amount of deposits for water, electricity and gas and debris removal fee is yet to be ascertained at the date on which the sales brochure is printed.

1. 在向買方交付住宅物業在空置情況下的管有權時，買方須向賣方(擁有人)補還水、電力及氣體的按金。
2. 在交付時，買方不須向賣方(擁有人)支付清理廢料的費用。
3. 水、電力及氣體的按金及清理廢料的費用的款額於售樓說明書印製日尚未決定。

Note : The purchaser should pay to the manager instead of the vendor (the owner) the deposits for water, electricity and gas and the debris removal fee.  
備註：買方須向管理人而不須向賣方（擁有人）繳付水、電力及氣體的按金及清理廢料的費用。

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26

DEFECT LIABILITY WARRANTY PERIOD  
欠妥之處的保養責任期

As provided in the agreement for sale and purchase, the vendor shall, at its own cost and as soon as reasonably practicable after receipt of a written notice served by the purchaser within 6 months after the date of completion of the sale and purchase, remedy any defects to the property sold, or the fittings, finishes or appliances incorporated into the property as set out in the agreement for sale and purchase, caused otherwise than by the act or neglect of the purchaser.

按買賣合約的規定，凡售出物業或於買賣合約列出裝設於物業內的裝置、裝修物料或設備有欠妥之處，而該欠妥之處並非由買方行為或疏忽造成，則賣方在接獲買方在買賣成交日期後的6個月內送達的書面通知後，須於合理地切實可行的範圍內，盡快自費作出補救。

27

MAINTENANCE OF SLOPES  
斜坡維修

Not Applicable

不適用

28

MODIFICATION  
修訂

Not Applicable

不適用

29

INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING

申請建築物總樓面面積寬免的資料

Breakdown of GFA Concessions Obtained for All Features

Latest information on breakdown of GFA concessions as shown on the general building plans submitted to and approved by the Building Authority (BA) prior to the printing of the sales brochure is tabulated below. Information marked (#) may be based on information provided by the authorized person if the sales brochure is printed prior to submission of the final amendment plans to the BA. The breakdown of GFA concessions may be subject to further changes until final amendment plans are submitted to and approved by the BA prior to the issuance of the occupation permit for the development.

		Area (m <sup>2</sup> )
Disregarded GFA under Building (Planning) Regulations 23(3)(b)		
1	Carpark and loading / unloading area excluding public transport terminus	N/A
2	Plant rooms and similar services	
2.1 (#)	Mandatory feature or essential plant room, area of which is limited by respective Practice Notes for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers (PNAP) or regulation such as lift machine room, telecommunications and broadcasting (TBE) room, refuse storage and material recovery chamber, etc.	155.675
2.2 (#)	Mandatory feature or essential plant room, area of which is NOT limited by any PNAP or regulation such as room occupied solely by fire services installations (FSI) and equipment, meter room, transformer room, potable and flushing water tank, etc.	437.130
2.3	Non-mandatory or non-essential plant room such as air-conditioning plant room, air handling Flat (AHU) room, etc.	29.876
Green Features under Joint Practice Notes 1 and 2		
3 (#)	Balcony	208.000
4 (#)	Wider common corridor and lift lobby	64.439
5	Communal sky garden	N/A
6	Acoustic fin	N/A
7	Wing wall, wind catcher and funnel	N/A
8	Non-structural prefabricated external wall	76.653
9	Utility platform	156.000
10	Noise barrier	N/A
Amenity Features		
11	Counter, office, store, guard room and lavatory for watchman and management staff, Owners' Corporation Office	10.395
12	Residential Recreation facilities including void, plant room, swimming pool filtration plant room, covered walkway etc serving solely the recreational facilities	282.101
13	Covered landscaped and play area	257.045
14	Horizontal screens/covered walkways, trellis	N/A
15	Larger lift shaft	113.803
16	Chimney shaft	N/A
17	Other non-mandatory or non-essential plant room, such as hoiler room, satellite master antenna television (SMATV) room.	N/A
18 (#)	Pipe duct, air duct for mandatory feature or essential plant room	14.165
19 (#)	Pipe duct, air duct for non-mandatory feature or non-essential plant room	179.096
20	Plant room, pipe duct, air duct for environmentally friendly system and feature	N/A
21 (#)	Void in duplex domestic flat and house	N/A
22	Projections such as air-conditioning box and platform with a projection of more than 750mm from the external wall	N/A
Other Exempted Items		
23	Refuge floor including refuge floor cum sky garden	193.881
24 (#)	Other projections	239.870
25	Public transport terminus	N/A
26 (#)	Party structure and common staircase	N/A
27 (#)	Horizontal area of staircase, lift shaft and vertical duct solely serving floor accepted as not being accountable for GFA	178.392
28	Public passage	N/A
29	Covered set back area	N/A
Bonus GFA		
30	Bonus GFA	N/A

Note: The above table is based on the requirements as stipulated in the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers ADM-2 issued by the Buildings Department. The Buildings Department may revise such requirements from time to time as appropriate.  
Environmental Assessment of the Building and Information on the Estimated Energy Performance or Consumption for the Common Parts of the Development.

The approved general building plans of this development are not subject to the requirements stipulated in the Practice Note for Authorized Persons, Registered Structural Engineers and Registered Geotechnical Engineers APP-151 issued by the Building Authority. Environmental assessment and information on the estimated energy performance or consumption for the common parts of this development were not required to be submitted to the Building Authority as a prerequisite for the granting of gross floor area concessions.

29 INFORMATION IN APPLICATION FOR CONCESSION ON GROSS FLOOR AREA OF BUILDING

申請建築物總樓面面積寬免的資料

獲寬免總樓面面積的設施分項

於印製售樓說明書前呈交予並已獲建築事務監督批准的一般建築圖則上有關總樓面面積寬免的分項的最新資料，請見下表。如印製售樓說明書時尚未呈交最終修訂圖則予建築事務監督，則有(＃)號的資料可以由認可人士提供的資料作為基礎。直至最終修訂圖則於發出佔用許可證前呈交予並獲建築事務監督批准前，以下分項資料仍可能有所修改。

		面積(平方米)
根據《建築物(規劃)條例》第23(3)(b)條不計算的總樓面面積		
1	停車場及上落客貨地方(公共交通總站除外)	不適用
2	機房及相類設施	
2.1 (＃)	所佔面積受相關《認可人士、註冊結構工程師及註冊岩土工程師作業備考》或規例限制的強制性設施或必要機房，例如升降機機房、電訊及廣播設備室、垃圾及物料回收房等	155.675
2.2 (＃)	所佔面積不受任何《認可人士、註冊結構工程師及註冊岩土工程師作業備考》或規例限制的強制性設施或必要機房，例如僅供消防裝置及設備佔用的房間、電錶房、電力變壓房、食水及鹹水缸等	437.130
2.3	非強制性或非必要機房，例如空調機房、風櫃房等	29.876
根據聯合作業備考第1及第2號提供的環保設施		
3 (＃)	露台	208.000
4 (＃)	加闊的公用走廊及升降機大堂	64.439
5	公用空中花園	不適用
6	隔聲簷	不適用
7	翼牆、捕風器及風斗	不適用
8	非結構預製外牆	76.653
9	工作平台	156.000
10	隔音屏障	不適用
適意設施		
11	供保安人員和管理處員工使用的櫃枱、辦公室、儲物室、警衛室和廁所、業主立案法團辦公室	10.395
12	住宅康樂設施，包括僅供康樂設施使用的中空、機房、游泳池的濾水器機房、有蓋行人道等	282.101
13	有上蓋的園景區及遊樂場	257.045
14	橫向屏障/有蓋人行道、花棚	不適用
15	擴大升降機井道	113.803
16	煙囪管道	不適用
17	其他非強制性或非必要機房，例如鍋爐房、衛星電視共用天線房	不適用
18 (＃)	強制性設施或必要機房所需的管槽、氣槽	14.165
19 (＃)	非強制性設施或非必要機房所需的管槽、氣槽	179.096
20	環保系統及設施所需的機房、管槽及氣槽	不適用
21 (＃)	複式住宅室及洋房的中空	不適用
22	伸出物，如空調機箱及伸出外牆超過750毫米的平台	不適用
其他項目		
23	庇護層，包括庇護層兼空中花園	193.881
24 (＃)	其他伸出物	239.870
25	公共交通總站	不適用
26 (＃)	共用構築物及樓梯	不適用
27 (＃)	僅供獲接納不計入總樓面面積的樓層使用的樓梯、升降機槽及垂直管道的水平面積公眾通道	178.392
28	公眾通道	不適用
29	因建築物後移導致的覆蓋面積	不適用
額外總樓面面積		
30	額外總樓面面積	不適用

備註： 上述表格是根據屋宇署所發出的《認可人士、註冊結構工程師及註冊岩土工程師作業備考》ADM-2規定的要求而制訂的。屋宇署會按實際需要不時更改有關要求。

有關建築物的環境評估及發展項目的公用部分的預計能量表現或消耗的資料。

本發展項目的經批准一般建築圖則不受由建築事務監督發出的《認可人士、註冊結構工程師及註冊岩土工程師作業備考》APP-151規定規限。本發展項目的環境評估及公用部分的預計能量表現或消耗的資料無須呈交建築事務監督，以作為批予總樓面面積寬免的先決條件。

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## 30 RELEVANT INFORMATION

### 有關資料

#### Operation of gondola

During the regular and specially arranged cleaning, maintenance, inspection, rebuilding, repairing, altering, renewing, painting or decorating of the external walls (including the curtain wall structures, glass of curtain walls, windows, balconies and utility platforms and their glass balustrades forming part of a residential unit) of the development arranged by the manager, gondola(s) will be operated in the air space directly above the following residential units: -

1. Flat roof of Flat A on 3/F;
2. Flat roof of Flat B on 3/F;
3. Flat roof of Flat C on 3/F;
4. Flat roof of Flat D on 3/F;
5. Flat roof and roof of Flat A on 35/F; and
6. Flat roof and roof of Flat B on 35/F.

#### 吊船操作

在管理人安排為發展項目的外牆 (包括構成住宅單位一部分的玻璃幕牆結構、玻璃幕牆玻璃、窗戶、露台及工作平台及其玻璃欄河)進行定期及特別安排的清潔、保養、檢查、重建、維修、改動、翻新、油漆或裝飾期間，吊船會在以下住宅單位對上空間操作：-

1. 3樓A室平台；
2. 3樓B室平台；
3. 3樓C室平台；
4. 3樓D室平台；
5. 35樓A室平台及天台；及
6. 35樓B室平台及天台。

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The address of the website designated by the vendor for the development:

賣方就該項目指定的互聯網網站的網址：

**[www.h-bonaire.com.hk](http://www.h-bonaire.com.hk)**

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1. There may be future changes to the development and the surrounding areas.

2. Date of printing of this Sales Brochure: 6<sup>th</sup> December 2014

1. 發展項目及其周邊地區日後可能出現改變。

2. 本售樓說明書印製日期: 2014年12月6日



